

TOWN OF PLATTSBURGH BATTLEFIELD MEMORIAL GATEWAY PARK - SITE DEVELOPMENT

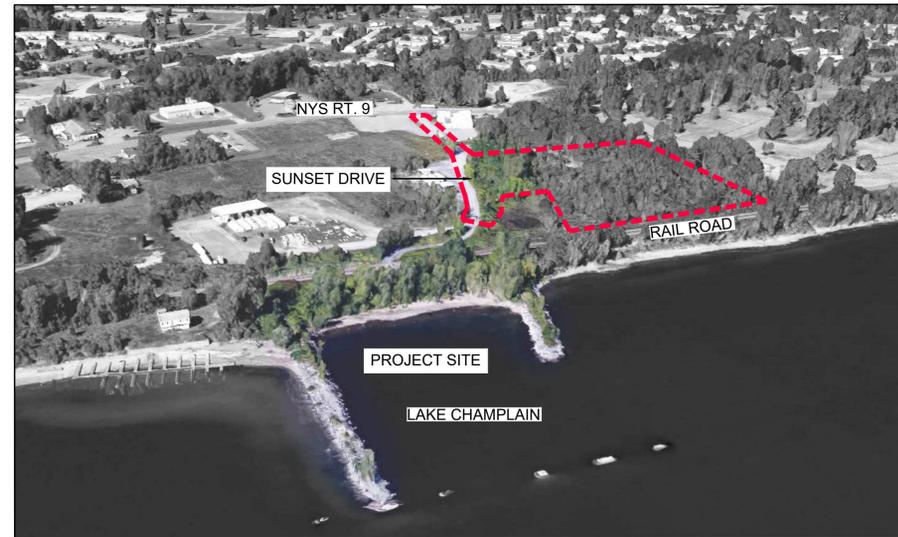
151 Banker Road
Plattsburgh, NY 12901

Elan Planning, Design & Landscape Architecture, DPC
ELAN Project No.: 20-015.8

PROJECT DESCRIPTION:

PHASE I:

- REALIGNMENT AND RECONSTRUCTION OF SUNSET DRIVE WITH (2) 11' WIDE ASPHALT PAVED TRAVEL LANES WITH 2' WIDE ASPHALT SHOULDERS
- VEHICLE PARKING AREA
- GATHERING SPACE NEAR VEHICLE PARKING AREA
- 10' WIDE MULTI-USE TRAIL CONNECTING SUNSET DRIVE TO THE EXISTING TERRY GORDON BIKE PATH
- 6' WIDE WALKING PATH CONNECTING VEHICLE PARKING AREA TO NORTHEAST CONNECTION WITH MULTI-USE TRAIL
- STORMWATER MANAGEMENT SYSTEM
- STREET TREES
- PROJECT ALSO INCLUDES CLEARING AND ROUGH GRADING FOR FUTURE PARK IMPROVEMENTS WITHIN TRAIL SYSTEMS.



SUBMISSION TITLE:

BIDDING DOCUMENTS
TOWN OF PLATTSBURGH, N.Y.
BATTLEFIELD MEMORIAL GATEWAY PARK
SITE DEVELOPMENT - PHASE I

SUBMISSION DATE:

FEBRUARY 7, 2023

DRAWING INDEX:

- C001: SURVEY DRAWING LEGEND & NOTES
- C101: EXISTING CONDITIONS PLAN & LIMIT OF WORK
- C111: EROSION & SEDIMENT CONTROL PLAN
- C121: SITE VEGETATION CLEARING PLAN
- C122: DEMOLITION & REMOVALS PLAN
- C131: LAYOUT & MATERIALS PLAN
- C141: GRADING & DRAINAGE PLAN
- C151: PLANTING PLAN
- C161: SUNSET DRIVE PLAN & PROFILES
- C162: MULT-USE TRAIL CENTERLINE PROFILES
- C201: SITE EROSION & SEDIMENT CONTROL DETAILS
- C202: SITE CONSTRUCTION DETAILS
- C203: SITE CONSTRUCTION DETAILS & CROSS SECTIONS
- C204: STORM WATER DETAILS
- C205: NYS DOT COMMERCIAL DRIVEWAY STANDARD SHEETS
- C206: NYS DOT WORK ZONE TRAFFIC CONTROL



Project Sponsor

TOWN OF PLATTSBURGH
151 BANKER ROAD
PLATTSBURGH, NY 12901-7307
(518) 562-6800 FAX: (518) 563-8136

Project Consultant

ELAN
PLANNING & DESIGN, LLC
18 DIVISION STREET
STUDIO 304
SARATOGA SPRINGS
NEW YORK 12866

Professional Stamp



Surveyor

AES NORTH EAST
ARCHITECTURE, ENGINEERING AND LAND SURVEYING NORTHEAST, PLLC
10-12 CITY HALL PLACE, PLATTSBURGH, NY 12901



THESE PLANS SHOW KNOWN SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AT ALL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXCUTING ANY WORK. THE CONTRACTOR SHALL CONTACT DIG SAFELY NEW YORK AT 1-800-962-7962 OR 811, 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO CONDUCT EXPLORATORY TESTS/PITS AS MAY BE REQUIRED TO DETERMINE UNDERGROUND CONDITIONS. THE COST OF WHICH SHALL BE INCLUDED IN THE VARIOUS ITEMS IN THIS CONTRACT. EXISTING UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.



This document was prepared with funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.

NYS DOS Contract No. C1000931

PROPOSED WORK LEGEND:

	120	MAJOR CONTOUR
	119	MINOR CONTOUR
	867.90	FINISHED GRADE SPOT ELEVATION
	1.0 %	SURFACE DOWN SLOPE DIRECTION ARROW
		RIP-RAP SLOPE STABILIZATION
		SILT FENCE
		SAWCUT
		WETLAND
		CLEARING AND GRUBBING
		SMALL TREE AND BRUSH REMOVAL
		ASPHALT PAVING AND BASE REMOVAL
		AGGREGATE PAVEMENT
		PROPOSED ASPHALT ROADWAY
		PROPOSED ASPHALT MULTI-USE TRAIL
		PROPOSED IMPRINTED CONCRETE
		PROPOSED WALKWAY
	1 C301	DETAIL No. DRAWING LOCATION
		HANDICAP PARKING STALL SYMBOL
		PROPOSED DECIDUOUS TREE

DRAWING ABBREVIATIONS :

BB	BALL AND BURLAP PLANTING
CL	CENTERLINE
DIA	DIAMETER
ELEV	ELEVATION
EX	EXISTING
FT	FOOT
INV	INVERT
MAX	MAXIMUM
MIN	MINIMUM
PSI	POUNDS PER SQUARE INCH
STD	STANDARD
BW	BOTTOM OF WALL
TW	TOP OF WALL
TYP	TYPICAL

SURVEY LEGEND OF EXISTING FEATURES:

	MAIL BOX
	FILLER CAP
	POWER POLE
	LIGHT POLE
	NON UTILITY POLE
	UTILITY BOX
	UTILITY POLE W LIGHT
	SINGLE POST SIGN
	TWO POST SIGN
	POST
	CATCH BASIN SQUARE
	CATCH BASIN ROUND
	MANHOLE
	CULVERT
	RAPIDS
	DECIDUOUS TREE
	CONIFEROUS TREE
	DECIDUOUS BUSH
	CONIFEROUS BUSH
	BOULDER
	ROCK OUTCROP
	UNIDENTIFIED OBJECT
	FIRE HYDRANT
	LAMP POST
	NGAS MARKER
	BOLLARD
	FIRE PIT
	FLAG POLE
	STUMP
	SWAMP
	PAVED ROAD/PAVED DRIVE
	UNPAVED ROAD/UNPAVED DRIVE
	GUIDE RAIL
	SIDEWALK
	TRAIL
	BRIDGE STRUCTURE
	BUILDING
	DECK WITH STEPS
	POOL
	SWAMP
	RETAINING WALL
	FREESTANDING WALL
	MAJOR CONTOUR
	MINOR CONTOUR
	DEPRESSION CONTOUR
	PILE/DEBRIS OUTLINE
	FENCE
	STONE WALL
	AGRICULTURAL FIELD
	WOODS LINE
	BRUSH LINE
	HEDGE LINE
	DITCH
	WATER EDGE

DEFINITIONS:

1. THE WORDS "SHALL", "SHOULD", AND "MAY", AS USED IN THE CONTRACT DOCUMENTS, HAVE THE FOLLOWING MEANINGS:

"SHALL" - A MANDATORY CONDITION. IN THE DESIGN, APPLICATION, OR LOCATION OF DEVICES, REQUIREMENTS HAVING "SHALL" STIPULATIONS ARE MANDATORY. NO DISCRETION IN FOLLOWING THEM IS ALLOWED.

"SHOULD" - AN ADVISORY CONDITION. WHERE "SHOULD" IS USED IN RELATION TO A PROVISION, THAT PROVISION IS RECOMMENDED, AND NORMALLY IS TO BE FOLLOWED, BUT IS NOT MANDATORY. DEVIATION FROM SUCH PROVISIONS IS PERMISSIBLE IF, AND TO THE EXTENT THERE IS JUSTIFIABLE CAUSE TO DO SO.

"MAY" - A PERMISSIVE CONDITION. NO REQUIREMENTS FOR DESIGN OR APPLICATION IS INTENDED.

"FULL DEPTH" - INCLUDES PAVEMENT MATERIAL COURSES, AGGREGATE SUBBASE COURSES, AND GEOTEXTILES.

SURVEY REFERENCE NOTES:

1. "TOWN OF PLATTSBURGH ON SUNSET DRIVE" PREPARED BY AES NORTHEAST, DATED JUNE 6TH 2019. REFER TO THESE DRAWINGS FOR ALL EXISTING CONDITIONS INFORMATION AND SURVEY REFERENCES.

2. THE CURRENT DEED OF RECORD FOUND:
2B. PLATTSBURGH TERMINALS, INC. TO TOWN OF PLATTSBURGH MADE OCT. 17, 2005 REC. JAN. 12, 2006 (DEED INSTRUMENT #2006-190793)
2C. PLATTSBURGH TERMINALS, INC. TO TOWN OF PLATTSBURGH MADE JUL. 25, 2008 REC. AUG. 26, 2008 (DEED INSTRUMENT #2008-218581)

3. THE CURRENT TAX PARCEL NUMBER IS TOWN OF PLATTSBURGH ON SUNSET DRIVE 233.-1-32.2

GENERAL NOTES:

5. FOR MATERIAL AND CONSTRUCTION SPECIFICATIONS UTILIZE THE: STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, DATED SEPTEMBER 1, 2016 INCLUDING CURRENT ADDENDUMS UNLESS OTHERWISE NOTED.

6. THE CONTRACTOR SHALL EXAMINE AND VERIFY IN THE FIELD, EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.

7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING FACILITIES CAUSED BY HIS OPERATIONS NOT INCLUDED AS PART OF THE PROPOSED WORK. ALL DAMAGE TO EXISTING FACILITIES WHICH ARE NOT PART OF THE INTENDED WORK SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE, AND TO THE SATISFACTION OF THE OWNER.

8. THE CONTRACTOR IS ADVISED THAT ADDITIONAL "NOTES" ARE ON ALL SHEETS OF THE CONTRACT PLANS AND SUCH "NOTES", WHILE PERTAINING TO THESE SPECIFIC SHEETS THEY ARE PLACED ON, ALSO SUPPLEMENT THE GENERAL NOTES LISTED HEREIN.

9. CARE SHALL BE TAKEN TO RETAIN NATURAL GROWTH AND PREVENT DAMAGE TO TREES WITHIN AND OUTSIDE THE AREA OF CONSTRUCTION, AND NOT SCHEDULED FOR REMOVAL. ANY DAMAGE CAUSED TO THIS NATURAL GROWTH SHALL BE RESTORED AT THE EXPENSE OF THE CONTRACTOR AS DIRECTED BY THE OWNER.

10. WHENEVER ITEMS IN THE CONTRACT REQUIRE MATERIALS TO BE REMOVED AND DISPOSED OF, THE COST OF TRANSPORTATION TO THE AREA AND DISPOSAL FEES SHALL BE INCLUDED IN THE PROJECT LUMP SUM PRICE BID.

11. PROPOSED IMPROVEMENTS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY STAKE OUT AND CONSTRUCTION OF PROPOSED IMPROVEMENTS. EXCESS EXCAVATED MATERIALS SHALL BECOME THE PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE IN A LAWFUL MANNER.

REMOVAL NOTES:

1. PRIOR TO COMMENCING WORK, CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES, BUILDINGS, PAVEMENTS, AND OTHER SITE FEATURES TO REMAIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE A LOCATING SERVICE TO VERIFY UTILITY LOCATIONS. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT U.F.P.O. FOR LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO THE COMMENCING OF CONSTRUCTION. IF ANY UTILITIES ARE DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED TO THE STANDARD OF THE AUTHORITY HAVING JURISDICTION, AT THE CONTRACTOR'S EXPENSE.

2. PRIOR TO START OF WORK, COORDINATE WITH THE OWNER'S REPRESENTATIVE REGARDING CONSTRUCTION VEHICLE ACCESS/ EGRESS ROUTES, STOCKPILE AND STAGING AREAS.

3. THE CONTRACTOR SHALL EXERCISE CARE DURING REMOVAL OPERATIONS TO PROTECT EXISTING FACILITIES TO REMAIN, INCLUDING PAVEMENTS, CURBS, FENCES, TREES, UNDERGROUND UTILITIES, ETC. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THE DAMAGES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.

4. PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING CONDITIONS.

RESTORATION OF DISTURBED AREAS NOTES:

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO A CONDITION APPROVED BY THE OWNER.

LAYOUT NOTES:

1. LAYOUT POINTS AND HORIZONTAL CONTROL IS BASED UPON THE BENCHMARK ESTABLISHED ON THE SITE SURVEY DRAWINGS ENTITLED "TOWN OF PLATTSBURGH ON SUNSET DRIVE" PREPARED BY AES NORTHEAST ARCHITECTURE, ENGINEERING AND LAND SURVEYING, PLLC ON MAY 31, 2006.

2. THE CONTRACTOR SHALL STAKE OUT ALL WORK IN THE FIELD PRIOR CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.

3. DIMENSIONS: UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL DIMENSIONS SHOWN ON THE SITE DRAWINGS FOLLOW THESE CONVENTIONS:

- A. DIMENSIONS TO A BUILDING AND RETAINING WALLS ARE TO THE EXTERIOR FACE OF THE WALL
- B. DIMENSIONS TO A MANHOLE, INLET, CLEAN OUT, PIPE BEND, VALVE, FIRE HYDRANT OR OTHER UTILITY APPURTENANCE ARE TO THE CENTER OF THE STRUCTURE
- C. ALL ANGLES SHOWN ARE 90° UNLESS OTHERWISE NOTED
- D. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DRAWING DISCREPANCY UPON DISCOVERY AND SHALL RECEIVE CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION.

4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE ON ANY

FIELD ADJUSTMENTS TO NEW WORK, PRIOR TO INSTALLATION.

5. NEW UTILITY WORK: ALL WORK ASSOCIATED WITH THE INSTALLATION OF A SPECIFIC UTILITY INCLUSIVE OF TRENCHING AND BACKFILLING, SUPPORTS, FOUNDATIONS, FINISH GRADE, MATERIAL REPAIR, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR INSTALLING THE UTILITY.

GRADING NOTES:

1. THE CONTRACTORS SHALL STAKE OUT PROPOSED ELEVATIONS AND LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S AND RESIDENT PROJECT REPRESENTATIVE FOR FIELD ADJUSTMENTS OF NEW WORK.

3. THE CONTRACTOR SHALL CONTINUALLY MONITOR EXISTING STORM WATER EROSION CONTROL SYSTEMS AND CLEAN, REPAIR, AND UPGRADE AS REQUIRED, IN ACCORDANCE WITH PROJECT SWPPP.

4. TRANSITIONS FROM ALL NEW PAVEMENTS TO EXISTING PAVEMENTS AND LAWN AREAS SHALL BE SMOOTH AND FLUSH WITH ADJACENT FINISH GRADES.

5. GRADES WITHIN DRIP-LINE OF VEGETATION TO REMAIN SHALL NOT BE COMPACTED OR ALTERED UNLESS SO DIRECTED IN EITHER THE DRAWINGS OR SPECIFICATIONS. IN THE EVENT THIS IS UNAVOIDABLE, CONSULT THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING.

6. IT IS THE INTENT OF THE GRADING DESIGN TO ACHIEVE POSITIVE DRAINAGE AND WITHOUT ABRUPT CHANGES IN TOPOGRAPHY. TRANSITIONS BETWEEN EXISTING AND PROPOSED LAWN AREAS SHALL BE SMOOTH AND JOINTS FLUSH. ALL PROPOSED ASPHALT PAVING SHALL HAVE A SLOPE OF AT LEAST ONE (1) PERCENT. UNPAVED AREAS SHALL HAVE A MINIMUM SLOPE OF ONE (1) PERCENT AND MAXIMUM SLOPE OF 2H:1V. FINAL GRADE SHALL ACHIEVE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS AND TOWARD DRAINAGE FACILITIES (SWALES, GUTTERS, INLETS, ETC.) CHANGES IN THE VERTICAL ALIGNMENT OF PAVED SURFACES SHALL BE A STRAIGHT LINE SLOPE WITH PARABOLIC VERTICAL CURVE THAT TRANSITIONS SMOOTHLY INTO A TANGENT.

7. ALL PROPOSED WALKWAYS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0% AND MAXIMUM CROSS SLOPE OF 2.0%. - UNLESS NOTES OTHERWISE

UTILITY NOTES:

1. LOCATION OF UTILITIES, PUBLIC AND/OR PRIVATE, INDICATED AS EXISTING AND/OR TO BE CONSTRUCTED AS SHOWN ON THE PLANS ARE DIAGRAMATIC. THEIR EXACT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. ADDITIONAL UTILITY LINES, WHETHER ABANDONED OR IN SERVICE, MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT HIS OPERATIONS AND TAKE THE NECESSARY PRECAUTIONS TO PREVENT INTERFERENCE WITH OR DAMAGE TO THESE OR OTHER FACILITIES DURING THE COURSE OF CONSTRUCTION. IN THE EVENT THE CONTRACTOR DAMAGES AN EXISTING UTILITY SERVICE CAUSING AN INTERRUPTION IN SAID SERVICE, HE SHALL IMMEDIATELY COMMENCE WORK TO RESTORE SERVICE IN COORDINATION WITH THE OWNER OF THE UTILITY AFFECTED, AND MAY NOT CEASE HIS WORK OPERATION UNTIL SERVICE IS RESTORED.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES ENCOUNTERED FOR WORK COMPLETED UNDER THIS CONTRACT.

3. DURING NECESSARY UTILITY RELOCATION WORK, CONTRACTOR SHALL SCHEDULE WORK IN SUCH A WAY TO COMPLY WITH SHUT DOWN TIMES AND ANY OTHER REQUIREMENTS OF THE UTILITY OWNER. NO ADDITIONAL PAYMENT SHALL BE MADE FOR ANY COST INCURRED DUE TO COMPLYING WITH UTILITY OWNERS REQUIREMENTS. SUCH COSTS SHALL BE INCLUDED IN THE PRICE BID FOR THE CONTRACT.

4. CONTRACTOR SHALL MAINTAIN OR PROVIDE TEMPORARY ELECTRIC SERVICE TO THE BUSINESS THROUGHOUT CONSTRUCTION.

ENVIRONMENTAL NOTES:

1. SPILLAGE OF OIL AND HAZARDOUS SUBSTANCES IS PROHIBITED BY SECTION 311-OPA OF THE CLEAN WATER ACT OF 1977. MEASURES INCLUDING PROPER MAINTENANCE OF CONSTRUCTION EQUIPMENT, DESIGNATING FUEL/HAZARDOUS SUBSTANCES, HANDLING AREAS TO ALLOW SPILLS TO BE CONTAINED BEFORE REACHING THE WATERWAY, INSTRUCTING PERSONNEL NOT TO DISPOSE OF OIL AND OTHER SUCH MATERIALS INTO DRAINS OR INTO THE WATERWAY DIRECTLY, AND OTHER NECESSARY PROCEDURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION ACTIVITIES. IF, IN SPITE OF SUCH PLANNING, OIL/HAZARDOUS SUBSTANCES ARE SPILLED INTO A WATERCOURSE, IMMEDIATE NOTIFICATION SHALL BE GIVEN TO THE N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION AT (518) 457-7362 AND THE NATIONAL RESPONSE CENTER AT 1 (800) 424-8802. A CONTAINMENT BOOM AND A SUPPLY OF HAY, STRAW, OR OTHER ABSORBENT SHOULD BE RETAINED SO THAT IT MAY BE RAPIDLY DEPLOYED TO SOAK UP ANY POSSIBLE SPILLAGE. PENDING ENVIRONMENTAL CONSERVATION AND/OR COAST GUARD ARRIVAL ON THE SCENE, THE USE OF CHEMICAL DISPERSING AGENTS AND EMULSIFIERS IS NOT AUTHORIZED WITHOUT PRIOR, SPECIFIC, FEDERAL, OR STATE APPROVAL.

2. ANY DELETERIOUS MATERIAL ENTERING WATERWAYS, SHALL BE REMOVED AND DISPOSED OF PROPERLY.

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," CURRENT EDITION AND AS STATED IN THE SWPPP.

2. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.

3. THE EROSION CONTROL MEASURES DEPICTED ON THESE PLANS ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ALL GENERAL AND PARTICULAR MEASURES DEEMED NECESSARY BY THE OWNER'S FIELD REPRESENTATIVES.

4. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

5. STABILIZED CONSTRUCTION ENTRANCES SHALL BE UTILIZED FOR ALL CONSTRUCTION TRAFFIC AT ALL POINTS OF PROJECT SITE ACCESS AND EGRESS. WITH APPROVAL FROM THE OWNER REPRESENTATIVE, THE CONTRACTOR MAY MODIFY THE LOCATION AND QUANTITY OF STABILIZED CONSTRUCTION ENTRANCES TO BETTER SUIT CONSTRUCTION. ALL STABILIZED CONSTRUCTION ENTRANCES UTILIZED DURING CONSTRUCTION SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT OFF-SITE OR ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OFF-SITE OR ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED AND CLEANED IMMEDIATELY.

6. EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE (IF IT IS NOT USED IMMEDIATELY FOR GRADING PURPOSES AND IF IT IS EXPECTED TO REMAIN EXPOSED FOR PERIODS LESS THAN THIRTY (30) DAYS) SHALL HAVE HAY BALE BERMS OR SILT FENCES CONSTRUCTED AROUND ALL STOCKPILES OF FILL, TOPSOIL AND EXCAVATED OVERBURDEN. HAY BALE BERMS AND SILT FENCES SHALL BE ANCHORED AND MAINTAINED IN GOOD CONDITION UNTIL SUCH TIME AS SAID STOCKPILES ARE REMOVED AND STOCKPILING AREAS ARE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED.

7. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25' OF ANY DITCH,

STREAM OR OTHER SURFACE WATER BODY.

8. TEMPORARY EROSION AND SEDIMENT CONTROLS INSTALLED UPSTREAM OF PROPOSED INFILTRATION FACILITIES SHALL REMAIN IN PLACE UNTIL ALL CONTRIBUTING AREAS HAVE BEEN EFFECTIVELY STABILIZED IN ACCORDANCE WITH THE PROJECT SWPPP.

NYSDOT STANDARD GENERAL PLAN NOTES:

1. ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.

2. ROADSIDE DRAINAGE TO BE MAINTAINED AT ALL TIMES.

3. MATERIALS, EQUIPMENT, AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN THE NEW YORK STATE RIGHT-OF-WAY.

4. WORK ZONE TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE MOST RECENT NYSDOT STANDARD SPECIFICATIONS - SECTION 619 WORK ZONE TRAFFIC CONTROL. THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS 2009 EDITION AND THE NEW YORK STATE SUPPLEMENT.

5. NOTIFY NEW YORK STATE DEPARTMENT OF TRANSPORTATION ASSISTANT RESIDENT ENGINEER, MARK LASALLE ONE (1) WEEK PRIOR TO WORKING IN THE RIGHT-OF-WAY (TELEPHONE NUMBER: (518) 563-2020).

6. NOTIFY UDIG-NY TWO (2) WORKING DAYS PRIOR TO DIGGING, DRILLING, OR BLASTING AT 1-800-962-7962 FOR UTILITY STAKE-OUT.

7. ALL MATERIALS USED WITHIN THE STATE RIGHT-OF-WAY MUST COMPLY WITH THE LATEST NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND THE CURRENT ADDENDA, ALONG WITH ANY APPROPRIATE CURRENT NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SHEETS.

8. ALL TRAFFIC CONTROL DEVICES MUST CONFORM TO THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (N MUTCD) FOR STREETS AND HIGHWAYS AND THE NEW YORK STATE SUPPLEMENT.

Lead Consultant:



Project Sponsor:



Professional Stamp



JERE TATICH, RLA
ELAN PLANNING DESIGN &
LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK

SITE
DEVELOPMENT
PHASE I

Sheet Title:

**SURVEY
DRAWING
LEGENDS &
NOTES**

Drawing Log:

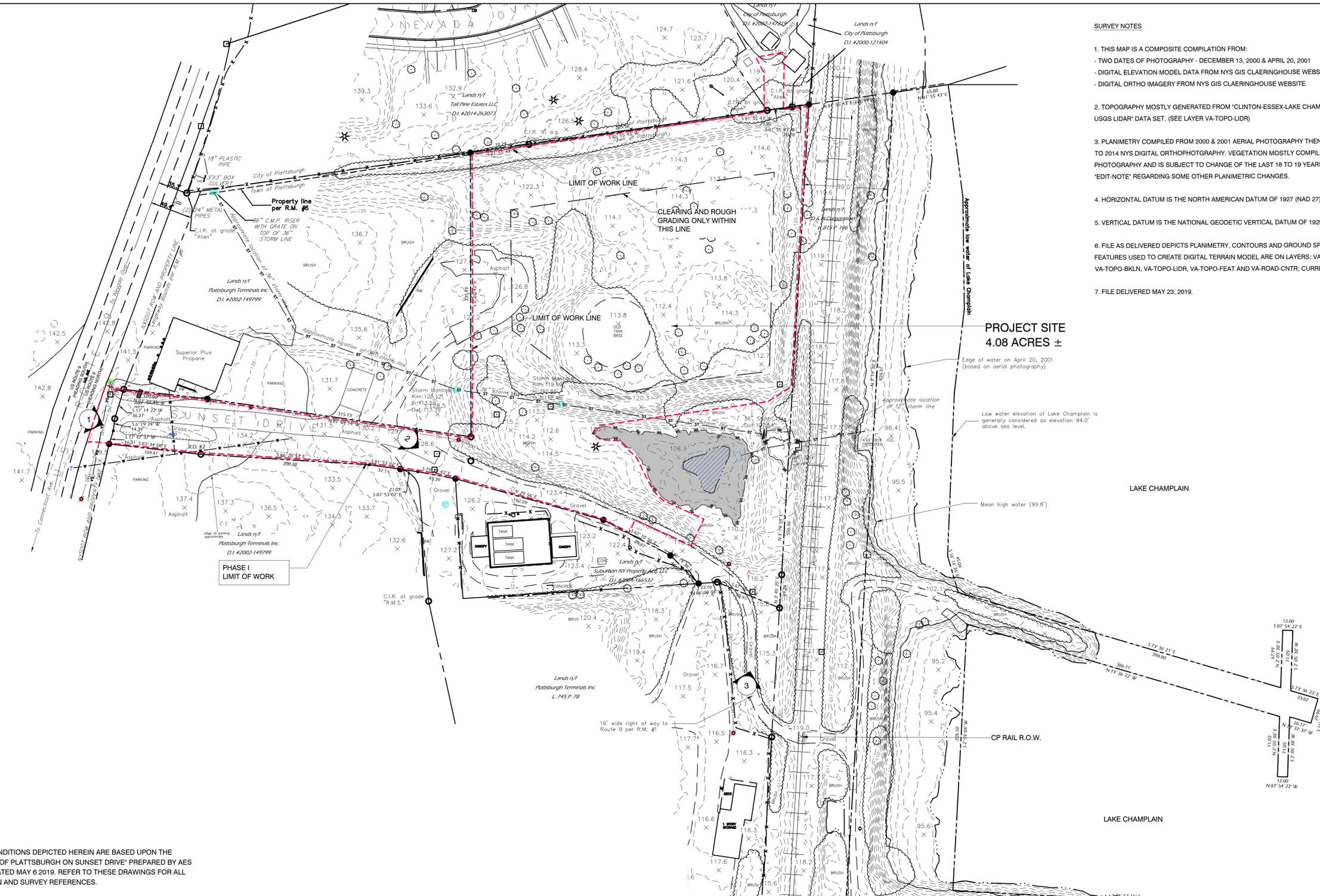
Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
CHECKED BY: - JET
FILE: -
JOB NO.: - 20-015.8

DRAWING NO.:

C001

Revision No.



SURVEY NOTES

1. THIS MAP IS A COMPOSITE COMPILATION FROM:
 - TWO DATES OF PHOTOGRAPHY - DECEMBER 13, 2000 & APRIL 20, 2001
 - DIGITAL ELEVATION MODEL DATA FROM NYS GIS CLAIRINGHOUSE WEBSITE.
 - DIGITAL ORTHO IMAGERY FROM NYS GIS CLAIRINGHOUSE WEBSITE.
2. TOPOGRAPHY MOSTLY GENERATED FROM "CLINTON-ESSEX-LAKE CHAMPLAIN NEW YORK 2015 USGS LIDAR" DATA SET. (SEE LAYER VA-TOPO)
3. PLANIMETRY COMPILED FROM 2000 & 2001 AERIAL PHOTOGRAPHY THEN COMPARED AND PARSED TO 2014 NYS DIGITAL ORTHOPHOTGRAPHY. VEGETATION MOSTLY COMPILED FROM THE 2000 & 2001 PHOTOGRAPHY AND IS SUBJECT TO CHANGE OF THE LAST 18 TO 19 YEARS. SEE NOTES ON LAYER 'EDIT-NOTE' REGARDING SOME OTHER PLANIMETRIC CHANGES.
4. HORIZONTAL DATUM IS THE NORTH AMERICAN DATUM OF 1927 (NAD 27).
5. VERTICAL DATUM IS THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
6. FILE AS DELIVERED DEPICTS PLANIMETRY, CONTOURS AND GROUND SPOT ELEVATIONS. 3D FEATURES USED TO CREATE DIGITAL TERRAIN MODEL ARE ON LAYERS: VA-TOPO-BDRY-EXTR, VA-TOPO-BKLN, VA-TOPO-LIDR, VA-TOPO-FEAT AND VA-ROAD-CNTR, CURRENTLY OFF AND FROZEN.
7. FILE DELIVERED MAY 23, 2019.

**PROJECT SITE
4.08 ACRES ±**

- NOTES:**
1. THE SITE SURVEY AND EXISTING CONDITIONS DEPICTED HEREIN ARE BASED UPON THE SURVEY DRAWING ENTITLED "TOWN OF PLATTSBURGH ON SUNSET DRIVE" PREPARED BY AES NORTHEAST LAND SURVEY, PLLC, DATED MAY 6 2019. REFER TO THESE DRAWINGS FOR ALL EXISTING CONDITIONS INFORMATION AND SURVEY REFERENCES.



IMAGE 1: VIEW EAST ONTO ENTRANCE OF SUNSET DRIVE, FROM ROUTE 9.



IMAGE 2: END OF SUNSET DRIVE ASPHALT PAVEMENT & TRANSITION TO AGGREGATE PAVING



IMAGE 3: VIEW OF SUNSET DRIVE WEST OF RAIL ROAD.

DRAWING SYMBOL KEY

3 PHOTO IMAGES 1-6

0 30' 60' 120'

Drawing Scale: 1" = 60'-0"

Lead Consultant:

ELAN
PLANNING & DESIGN, LLC
18 DIVISION STREET
STUDIO 304
SARATOGA SPRINGS
NEW YORK 12866

Project Sponsor:

NEW YORK Department of State
STATE OF NEW YORK

This document was prepared with funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.
NYS DOS Contract No. C1000951

Professional Stamp

JERE TATICH, RLA
ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

**TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK**

**SITE
DEVELOPMENT
PHASE I**

**EXISTING
CONDITIONS PLAN
& LIMIT OF WORK**

Sheet Title:

Drawing Log:

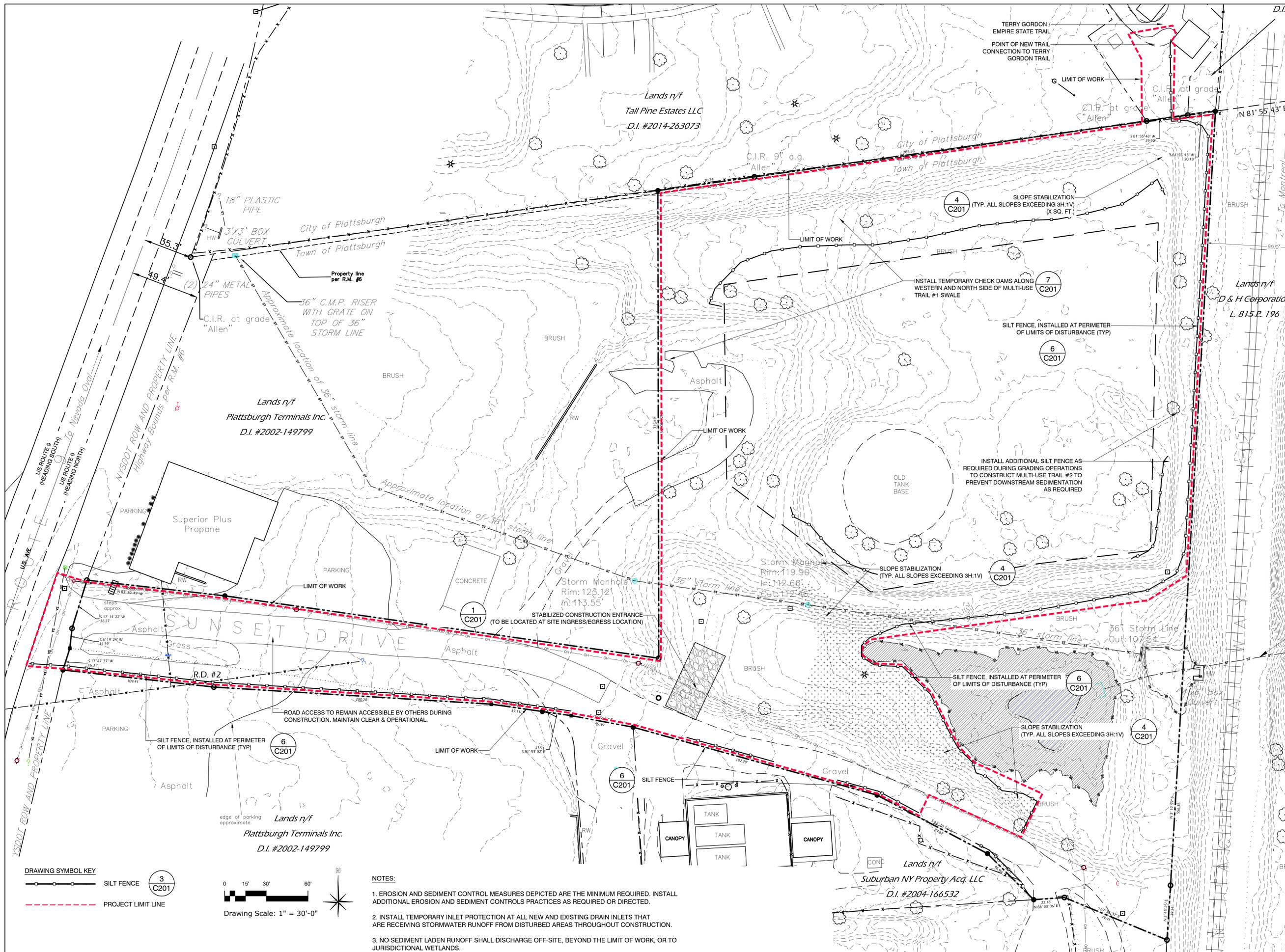
Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
 CHECKED BY: - JET
 FILE: -
 JOB NO.: - 20-015.8

DRAWING NO.:

C101

Revision No.



Lead Consultant:

ELAN
 PLANNING & DESIGN, LLC
 18 DIVISION STREET
 STUDIO 304
 SARATOGA SPRINGS
 NEW YORK 12866

Project Sponsor:

NEW YORK STATE Department of State
 Department of State Title 11 of the Environmental Protection Fund
 NYS DOS Contract No. C100991

This document was prepared with funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund. NYS DOS Contract No. C100991.

Professional Stamp

REGISTERED LANDSCAPE ARCHITECT
 JERE TATICH, RLA
 ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

TOWN OF PLATTSBURGH
 BATTLEFIELD MEMORIAL
 GATEWAY PARK

SITE DEVELOPMENT
 PHASE I

Sheet Title:

EROSION & SEDIMENT
 CONTROL PLAN

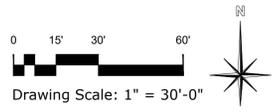
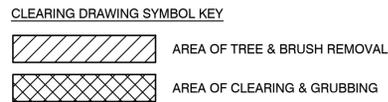
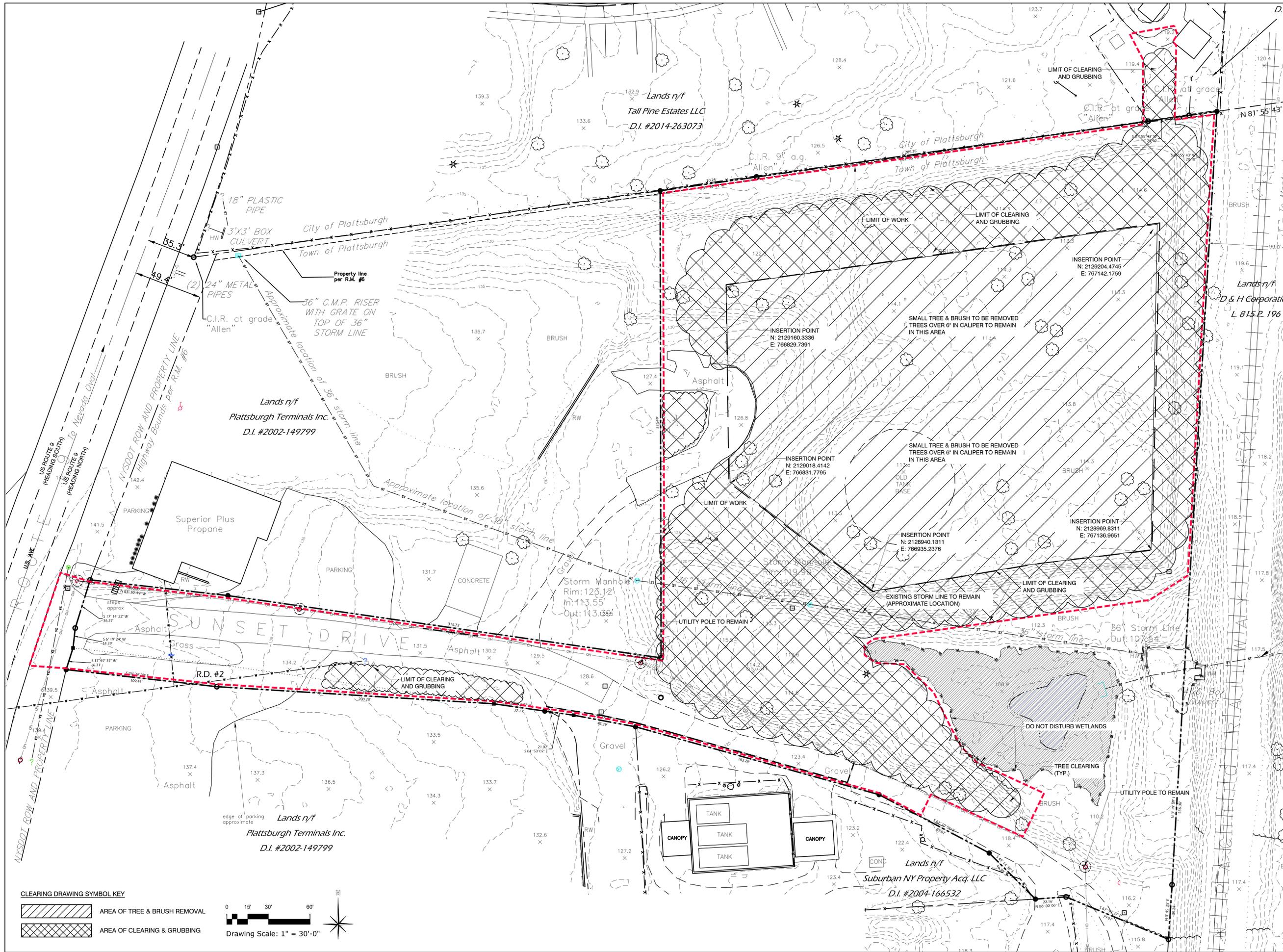
Drawing Log:

Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
 CHECKED BY: - JET
 FILE:
 JOB NO.: - 20-015.8
 DRAWING NO.:

C111

Revision No.



Lead Consultant:
ELAN
 PLANNING & DESIGN, LLC
 18 DIVISION STREET
 STUDIO 304
 SARATOGA SPRINGS
 NEW YORK 12866

Project Sponsor:

 Department of State
 This document was prepared with funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.
 NYS DOS Contract No. C100091

Professional Stamp

 JERE TATICH, RLA
 ELAN PLANNING DESIGN &
 LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:
**TOWN OF PLATTSBURGH
 BATTLEFIELD MEMORIAL
 GATEWAY PARK**

**SITE
 DEVELOPMENT
 PHASE I**

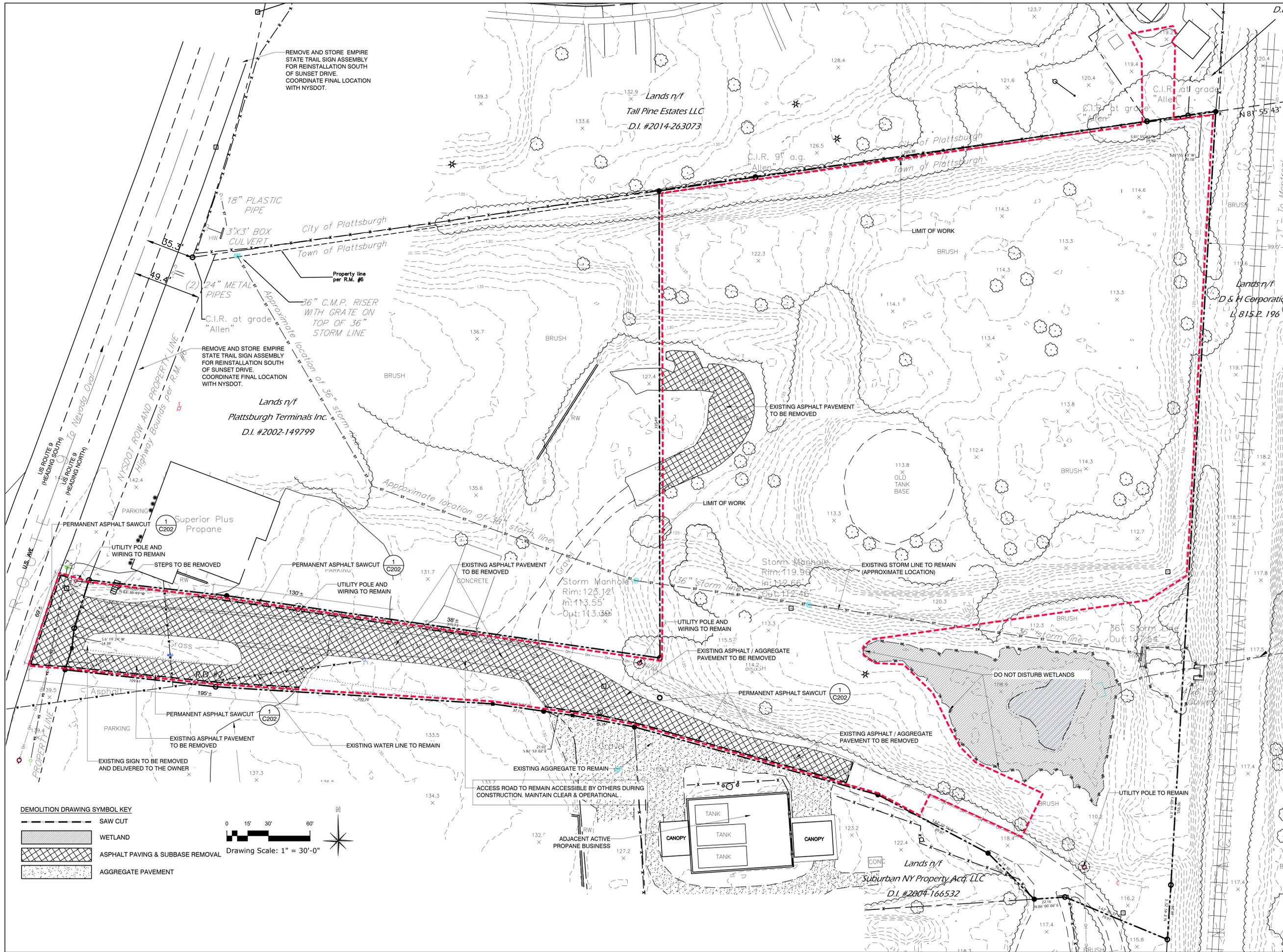
Sheet Title:
**SITE VEGETATION
 CLEARING PLAN**

Drawing Log:

Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
 CHECKED BY: - JET
 FILE:
 JOB. NO.: - 20-015.8

DRAWING NO.:
C121
 Revision No.



Lead Consultant:
ELAN
 PLANNING & DESIGN, LLC
 18 DIVISION STREET
 STUDIO 304
 SARATOGA SPRINGS
 NEW YORK 12866

Project Sponsor:
 NEW YORK STATE
 Department of State
 This document was prepared with funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund. NYS DOS Contract No. C100091.

Professional Stamp
 REGISTERED LANDSCAPE ARCHITECT
 JERE TATICH, RLA
 ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:
**TOWN OF PLATTSBURGH
 BATTLEFIELD MEMORIAL
 GATEWAY PARK**

**SITE
 DEVELOPMENT
 PHASE I**

Sheet Title:
**DEMOLITION &
 REMOVALS PLAN**

Drawing Log:

Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
 CHECKED BY: - JET
 FILE:
 JOB NO.: - 20-015.8
 DRAWING NO.:

C122
 Revision No.

SUNSET DRIVE			
Number	Radius	Length	Line/Chord Direction
L1		30.69	S71° 30' 17.76"E
C1	250.00	57.49	S78° 05' 35.54"E
L2		80.96	S84° 40' 53.32"E
C2	1750.00	114.41	S82° 48' 30.53"E
C3	1750.00	288.00	S78° 13' 15.09"E
L3		50.03	S71° 30' 22.45"E

MULTI USE PATH #1			
Number	Radius	Length	Line/Chord Direction
L4		42.58	N17° 20' 35.57"E
C4	200.00	74.23	N6° 42' 38.48"E
L5		130.98	N3° 55' 18.61"W
C5	75.00	112.71	N39° 07' 45.09"E
L6		226.61	N82° 10' 48.36"E
C6	65.00	93.22	N41° 05' 38.57"E
L7		51.46	N0° 00' 28.78"E

MULTI USE PATH #2			
Number	Radius	Length	Line/Chord Direction
C7	90.00	111.87	S60° 07' 28.44"E
L8		62.84	N84° 15' 54.23"E
C8	200.00	16.69	N81° 52' 29.81"E
L9		32.32	N79° 29' 05.38"E
C9	200.00	17.71	N82° 01' 16.54"E
L10		42.96	N84° 33' 27.70"E
C10	30.00	41.12	N45° 17' 34.25"E
L11		45.88	N6° 01' 40.79"E
C11	397.06	42.09	N3° 02' 11.85"E
L12		45.86	N0° 00' 00.56"E
C12	400.00	27.93	N2° 00' 00.00"E
L13		5.85	N4° 00' 00.00"E
C13	399.53	20.94	N2° 30' 00.00"E
L14		84.08	N0° 59' 53.65"E
C14	20.00	26.21	N37° 27' 39.76"W
L15		11.75	N79° 00' 00.00"W

ALL WORK WITHIN THE NYS DOT RIGHT-OF-WAY SHALL CONFORM TO THE NYS DOT STANDARD SPECIFICATIONS, CURRENT EDITION. SEE C205 AND C206 FOR ADDITIONAL INFORMATION.

SIGHT DISTANCE:
 AVAILABLE WITHIN ROW 535' (+) TO THE NORTH
 467' (+) TO THE SOUTH
 DESIGN SPEED 40 MPH
 TABLE 5C-4 - 445' LEFT TURN FROM STOP
 TABLE 5C-5 - 385' RIGHT TURN FROM STOP

UTILITY POLES WITHIN 500'
ROUTE 9 NORTHBOUND (EAST SIDE)
 UTILITY POLE # P887 (COVERED IN TAR)
 UTILITY POLE # P1L100
 UTILITY POLE # NYSEG-1885/T#1094
 UTILITY POLE # P3
 UTILITY POLE # NYSEG-10S/4
 UTILITY POLE # 6
 UTILITY POLE # 7

ROUTE 9 SOUTHBOUND (WEST SIDE)
 UTILITY POLE # PMLD2652
 UTILITY POLE # NYSEG-12
 UTILITY POLE # NYSEG-10/T31093/6-1
 UTILITY POLE # NYSEG-L2369/6-1
 UTILITY POLE # NYSEG-L2368/7-1

ROADS WITHIN 1000'
ROUTE 9 NORTHBOUND (EAST SIDE)
 NEVADA DRIVE

ROUTE 9 SOUTHBOUND (WEST SIDE)
 382' NORTH (SOUTH OF NEVADA DRIVE)
 176' NORTH (NORTHERN PORTION OF SUPERIOR PLUS DRIVEWAY)
 24' NORTH (JUST NORTH OF SUNSET DRIVE)
 110' SOUTH (WITHIN WIDE DRIVEWAY / PAVED AREA)
 192' SOUTH (SOUTH OF WIDE DRIVEWAY / PAVED AREA)
 334' SOUTH (NORTH OF WIRY RADIO DRIVEWAY / OPPOSITE STEWART'S DRIVEWAY)
 435' SOUTH (NORTH OF WIRY RADIO DRIVEWAY)

ROUTE 9 SOUTHBOUND (WEST SIDE)
 320' NORTH (NEAR FIELD AND DRIVEWAY)
 10' NORTH (OPPOSITE INTERSECTION WITH SUNSET DRIVE, WELL OUTSIDE OF ROW)
 218' SOUTH (NORTH OF STEWART'S DRIVEWAY / SOUTH OF CLARE AND CARL'S)
 342' SOUTH (BETWEEN STEWART'S DRIVEWAYS)
 458' SOUTH (SOUTH OF NEW TESTAMENT CHURCH DRIVEWAY)

DRIVEWAYS WITH 500'
ROUTE 9 NORTHBOUND (EAST SIDE)
 CURB CUT
 CURB CUT
 DRIVEWAY

ROUTE 9 SOUTHBOUND (WEST SIDE)
 DRIVEWAY - FIELD
 WIDE CURB CUT - CLARE AND CARL'S
 DRIVEWAY STEWARTS
 DRIVEWAY STEWARTS
 DRIVEWAY NEW TESTAMENT CHURCH

ROADS WITHIN 1000'
ROUTE 9 NORTHBOUND (EAST SIDE)
 NEVADA DRIVE

ROUTE 9 SOUTHBOUND (WEST SIDE)
 NONE

SIGNS WITHIN 500'
ROUTE 9 NORTHBOUND (EAST SIDE)
 STREET NAME - NEVADA OVAL
 EST TRAIL SIGN
 HOSPITAL
 CITY OF PLATTSBURGH
 EMPIRE STATE TRAIL
 EMPIRE STATE TRAIL

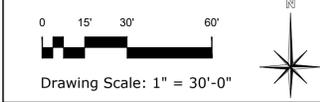
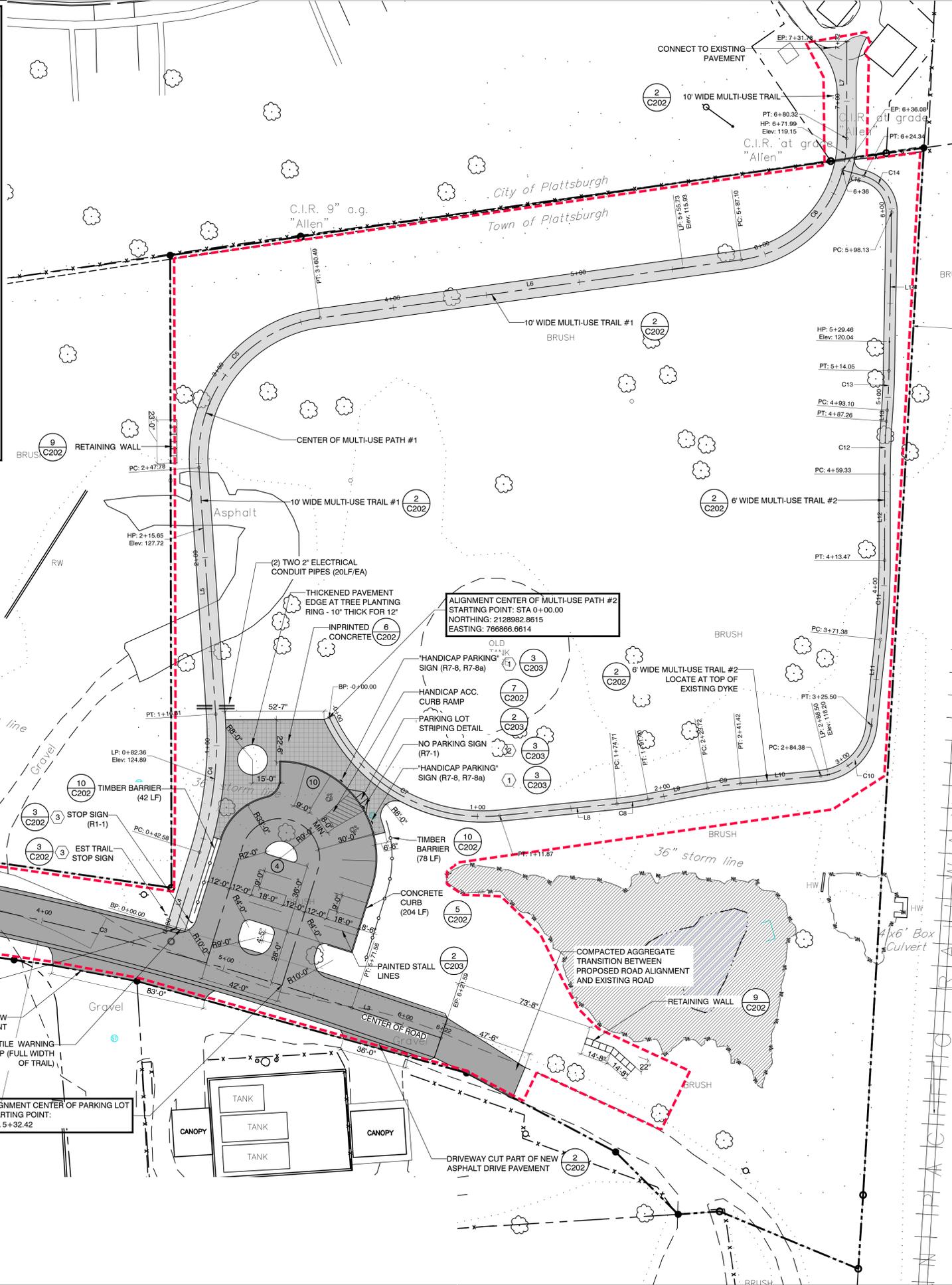
ROUTE 9 SOUTHBOUND (WEST SIDE)
 EMPIRE STATE TRAIL
 TOWN OF PLATTSBURGH
 NO PARKING
 BIKE WARNING
 SPEED LIMIT

DRIVEWAYS WITH 500'
ROUTE 9 NORTHBOUND (EAST SIDE)
 CURB CUT
 CURB CUT
 DRIVEWAY

ROUTE 9 SOUTHBOUND (WEST SIDE)
 DRIVEWAY - FIELD
 WIDE CURB CUT - CLARE AND CARL'S
 DRIVEWAY STEWARTS
 DRIVEWAY STEWARTS
 DRIVEWAY NEW TESTAMENT CHURCH

ROADS WITHIN 1000'
ROUTE 9 NORTHBOUND (EAST SIDE)
 NEVADA DRIVE

ROUTE 9 SOUTHBOUND (WEST SIDE)
 NONE



Lead Consultant:

ELAN
 PLANNING & DESIGN, LLC
 18 DIVISION STREET
 STUDIO 304
 SAATOGA SPRINGS
 NEW YORK 12566

Project Sponsor:

NEW YORK Department of State
 Department of State
 This document was prepared with funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.
 NYS DOS Contract No. C100991

Professional Stamp

JERE TATICH, RLA
 ELAN PLANNING DESIGN &
 LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

**TOWN OF PLATTSBURGH
 BATTLEFIELD MEMORIAL
 GATEWAY PARK**

**SITE
 DEVELOPMENT
 PHASE I**

Sheet Title:

**LAYOUT & MATERIALS
 PLAN**

Drawing Log:

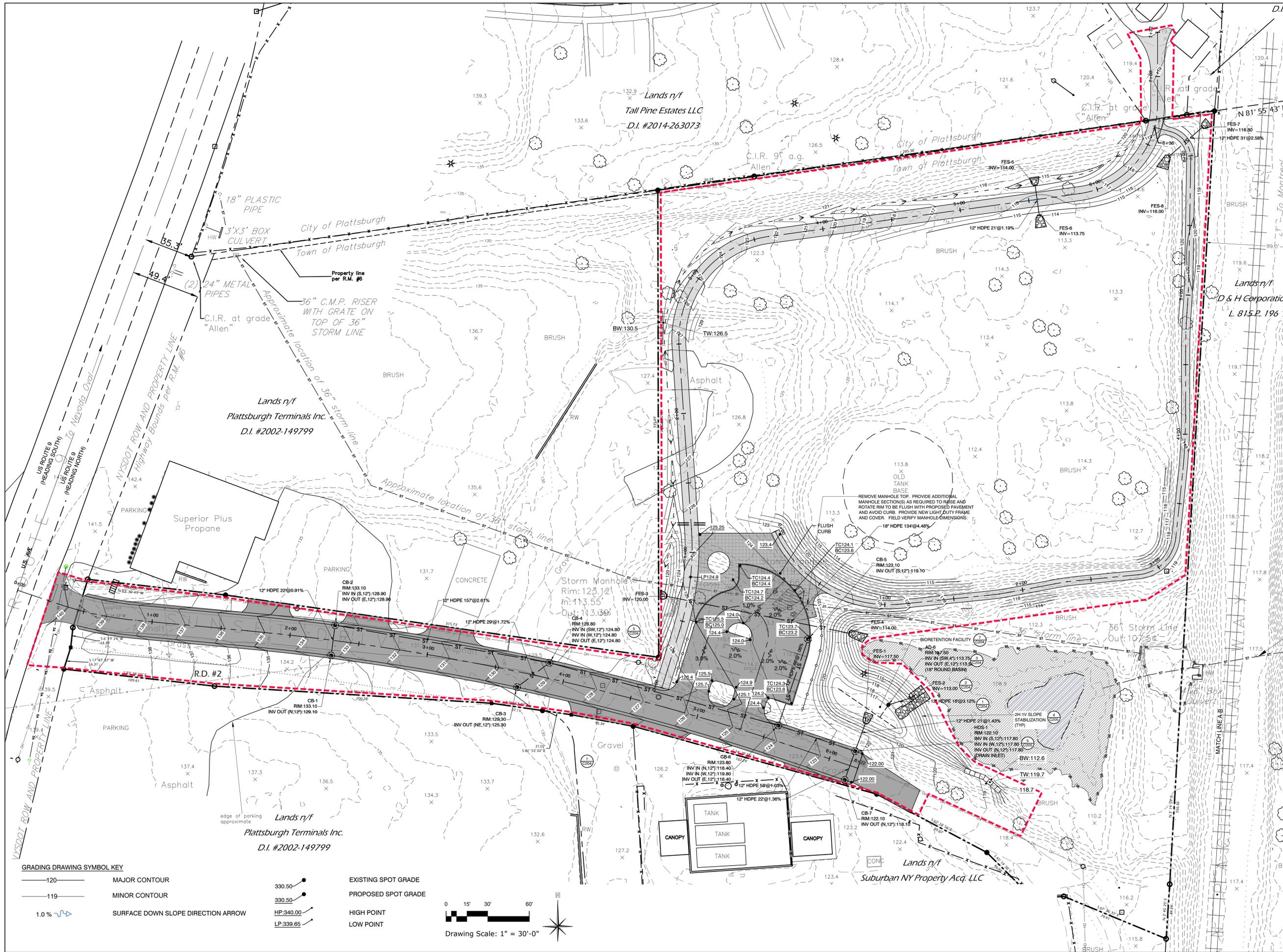
Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE

DATE FEBRUARY 7, 2023

DRAWN BY: - MEW
 CHECKED BY: - JET
 FILE:
 JOB NO.: - 20-015.8
 DRAWING NO.:

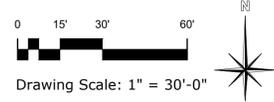
C131

Revision No.



GRADING DRAWING SYMBOL KEY

120	MAJOR CONTOUR	330.50	EXISTING SPOT GRADE
119	MINOR CONTOUR	330.50	PROPOSED SPOT GRADE
1.0%	SURFACE DOWN SLOPE DIRECTION ARROW	HP:340.00	HIGH POINT
		LP:339.65	LOW POINT



Lead Consultant:
ELAN
 PLANNING & DESIGN, LLC
 18 DIVISION STREET
 STUDIO 304
 SARATOGA SPRINGS
 NEW YORK 12866

Project Sponsor:
 NEW YORK STATE
 Department of State
 Department of State under Title 11 of the Environmental Conservation Law
 NYS DOS Contract No. C100091

Professional Stamp

 JERE TATCH, RLA
 ELAN PLANNING DESIGN &
 LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:
**TOWN OF PLATTSBURGH
 BATTLEFIELD MEMORIAL
 GATEWAY PARK**

**SITE
 DEVELOPMENT
 PHASE I**

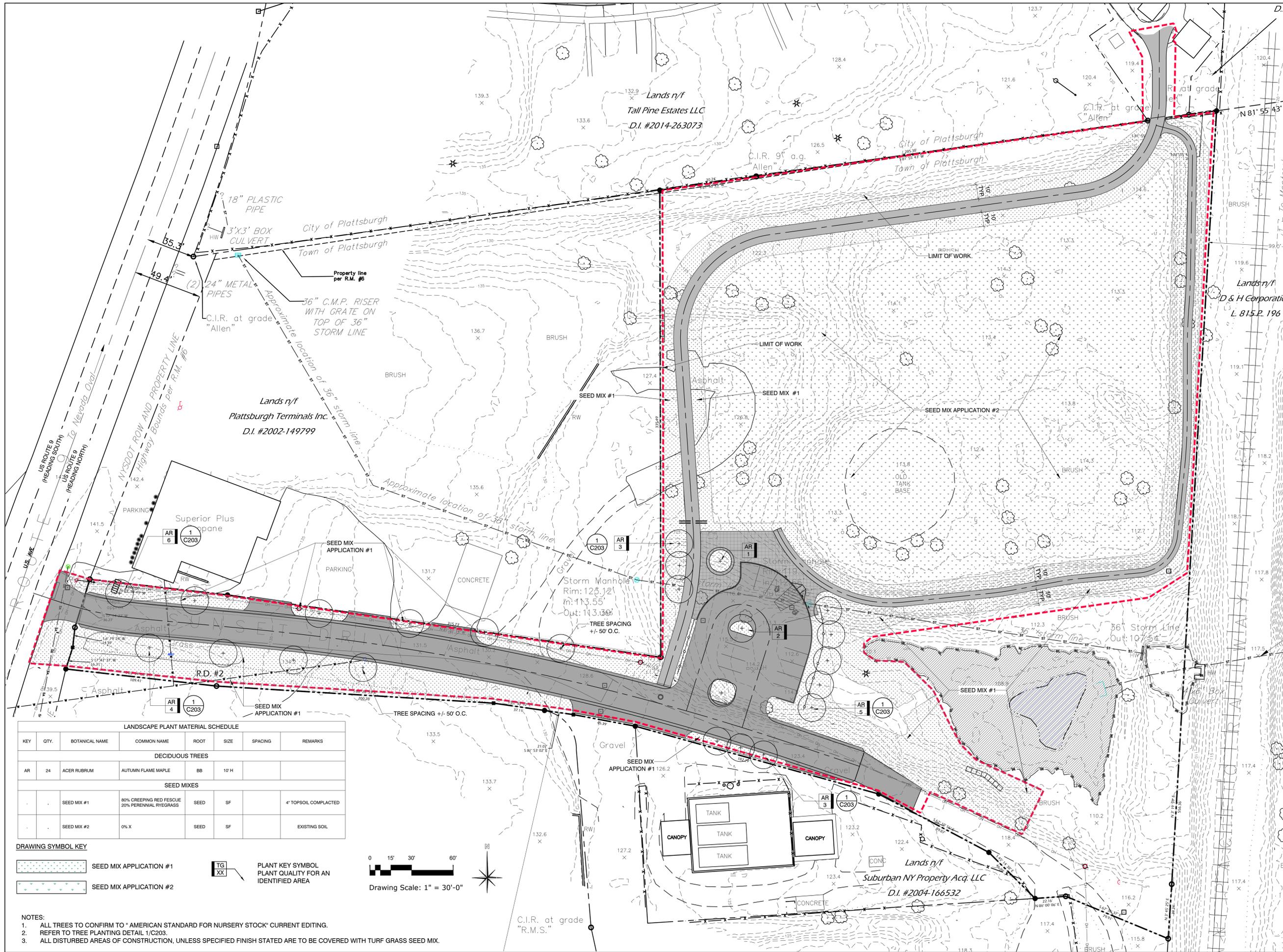
Sheet Title:
**GRADING & DRAINAGE
 PLAN**

Drawing Log:

Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
 CHECKED BY: - JET
 FILE:
 JOB NO.: - 20-015.8

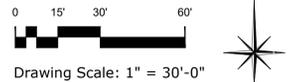
DRAWING NO.:
C141
 Revision No.



LANDSCAPE PLANT MATERIAL SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	SPACING	REMARKS
DECIDUOUS TREES							
AR	24	ACER RUBRUM	AUTUMN FLAME MAPLE	BB	10' H		
SEED MIXES							
		SEED MIX #1	80% CREEPING RED FESCUE 20% PERENNIAL RYEGRASS	SEED	SF		4" TOPSOIL COMPACTED
		SEED MIX #2	0% X	SEED	SF		EXISTING SOIL

DRAWING SYMBOL KEY



- NOTES:**
1. ALL TREES TO CONFIRM TO "AMERICAN STANDARD FOR NURSERY STOCK" CURRENT EDITING.
 2. REFER TO TREE PLANTING DETAIL 1/C203.
 3. ALL DISTURBED AREAS OF CONSTRUCTION, UNLESS SPECIFIED FINISH STATED ARE TO BE COVERED WITH TURF GRASS SEED MIX.

Lead Consultant:

ELAN
PLANNING & DESIGN, LLC
18 DIVISION STREET
STUDIO 304
SARATOGA SPRINGS
NEW YORK 12866

Project Sponsor:

NEW YORK STATE
Department of State
This document was prepared with funding provided by the New York State Department of State under Title II of the Environmental Protection Fund.
NYS DOS Contract No. C100093

Professional Stamp

JERE TATICH, RLA
ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

**TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK**

**SITE
DEVELOPMENT
PHASE I**

Sheet Title:

LANDSCAPE PLAN

Drawing Log:

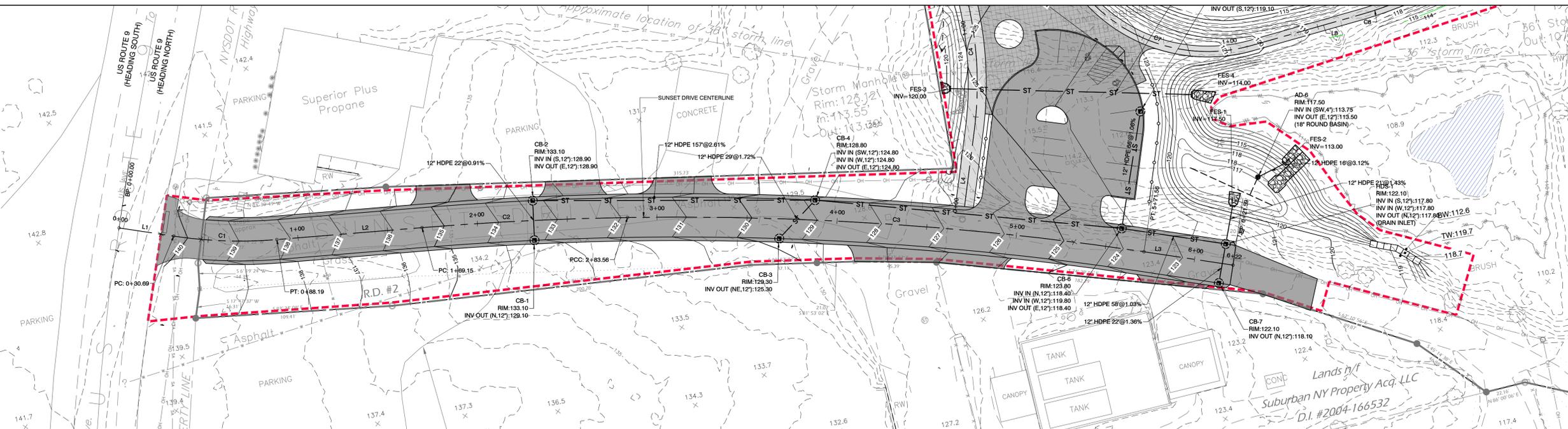
Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
CHECKED BY: - JET
FILE:
JOB NO.: - 20-015.8

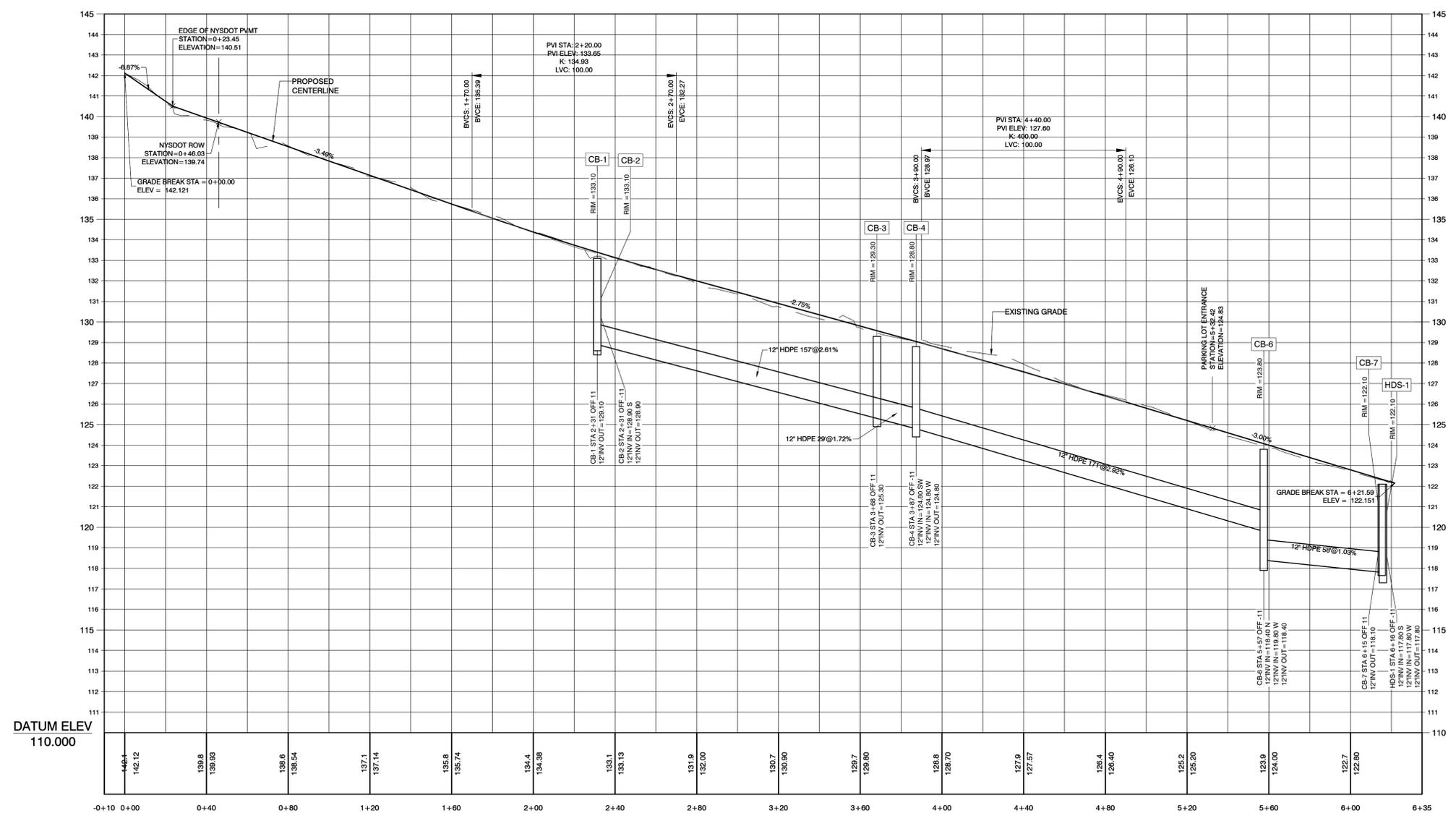
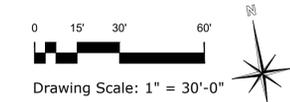
DRAWING NO.:

C151

Revision No.



1 SUNSET DRIVE - PLAN
SCALE: 1" = 30'-0"



2 SUNSET DRIVE - PROFILE
SCALE: H: 1" = 30'-0", V: 1" = 3'-0"

Lead Consultant:
ELAN
PLANNING & DESIGN, LLC
18 DIVISION STREET
STUDIO 304
SARATOGA SPRINGS
NEW YORK 12866

Project Sponsor:
NEW YORK STATE Department of State
This document was prepared with funding provided by the New York State Department of State under Title II of the Environmental Protection Fund.
NYS DOS Contract No. C100091

Professional Stamp
JERE TATICH, RLA
ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:
**TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK**

**SITE
DEVELOPMENT
PHASE I**

Sheet Title:
**SUNSET DRIVE
PLAN AND PROFILE**

Drawing Log:

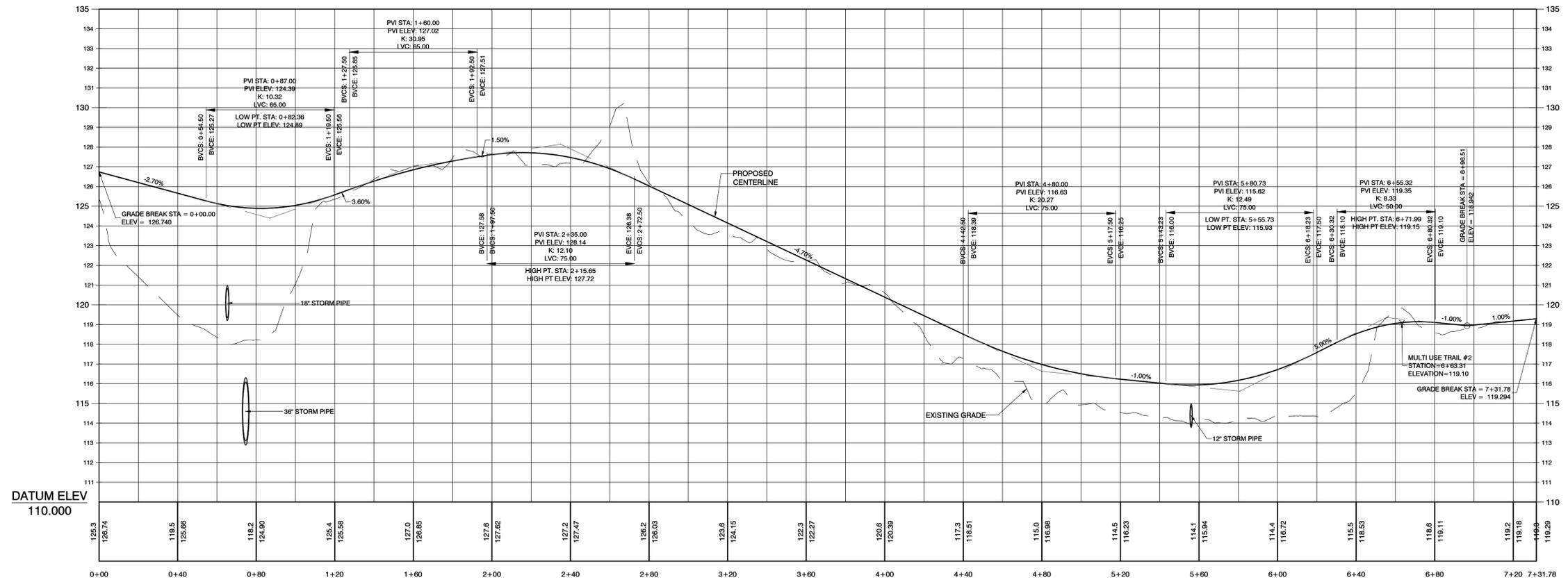
Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
CHECKED BY: - JET
FILE:
JOB NO.: - 20-015.8

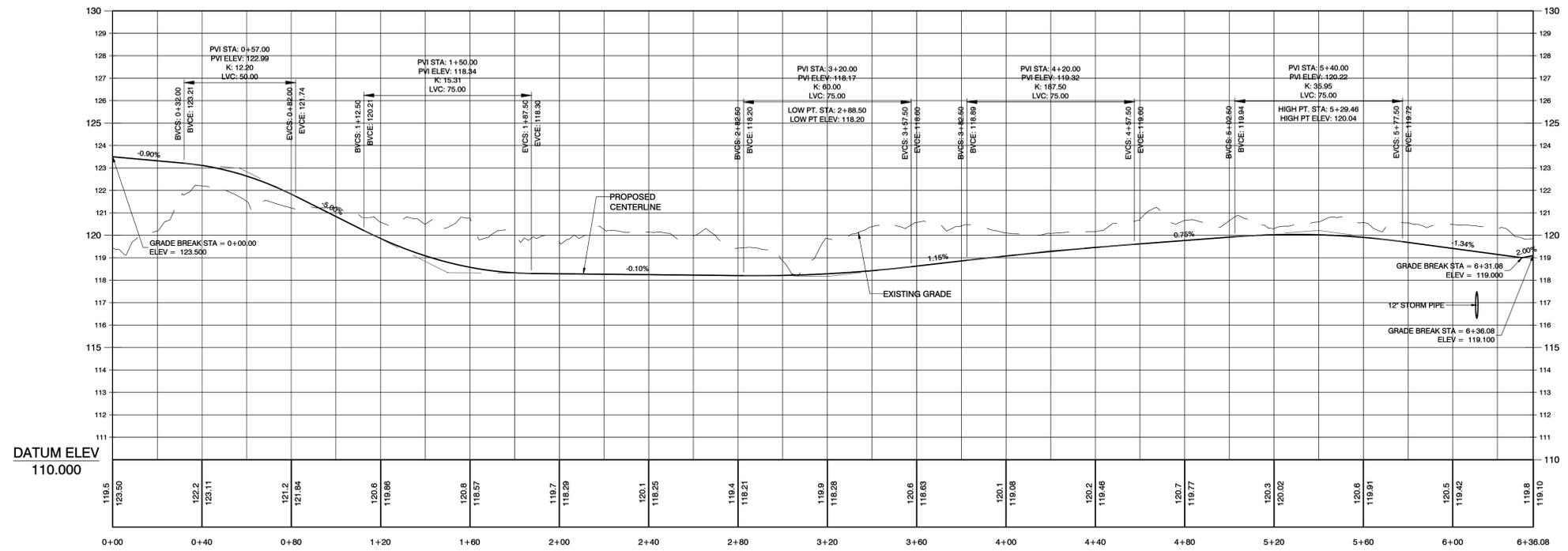
DRAWING NO.:

C161

Revision No.



1 MULTI-USE TRAIL #1 - PROFILE
SCALE: H: 1" = 30'-0", V: 1" = 3'-0"



2 MULTI-USE TRAIL #2 - PROFILE
SCALE: H: 1" = 30'-0", V: 1" = 3'-0"

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:
TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK

SITE
DEVELOPMENT
PHASE I

Sheet Title:
MULTI-USE TRAIL
CENTERLINE PROFILES

Drawing Log:

Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE

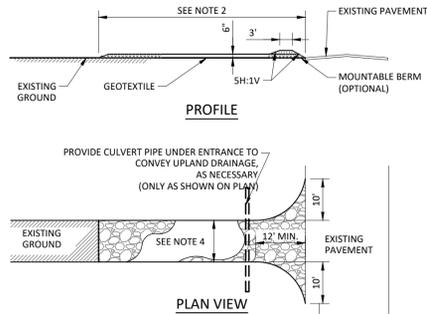
DATE FEBRUARY 7, 2023

DRAWN BY: - MEW
CHECKED BY: - JET
FILE:
JOB. NO.: - 20-015.8

DRAWING NO.:

C162

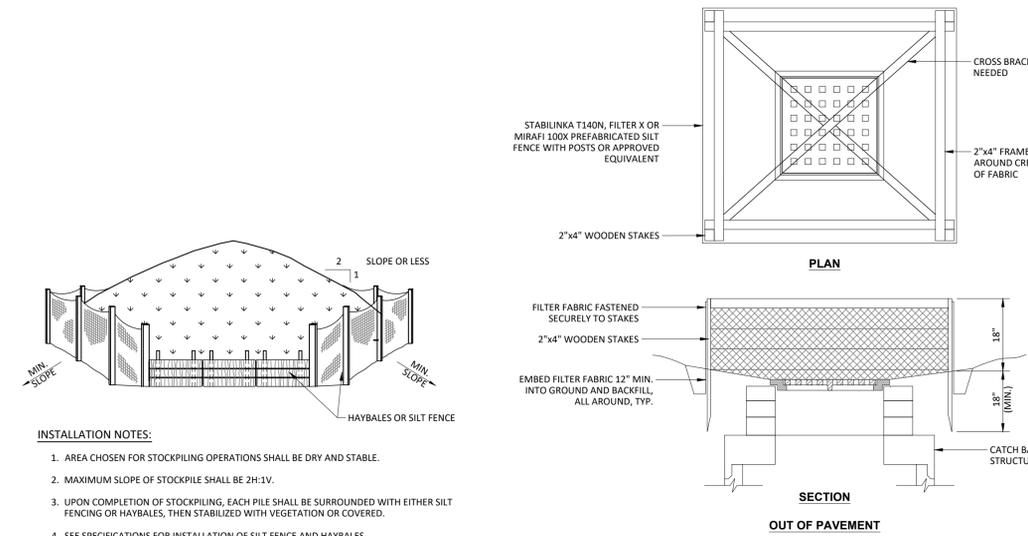
Revision No.



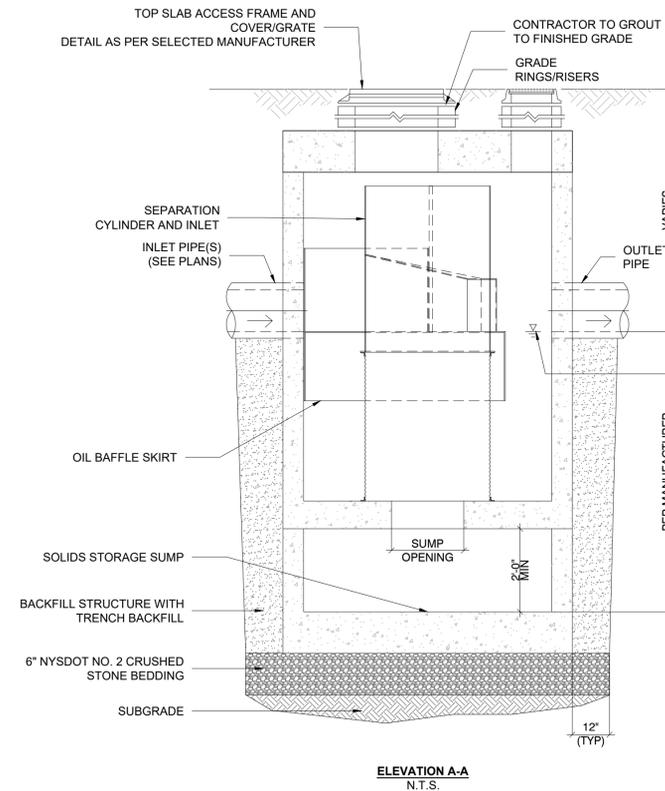
CONSTRUCTION ENTRANCE SPECIFICATIONS:

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. (GEOTEXTILE NOT REQUIRED ON SINGLE-FAMILY RESIDENCE LOTS.)
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
SCALE: N.T.S.

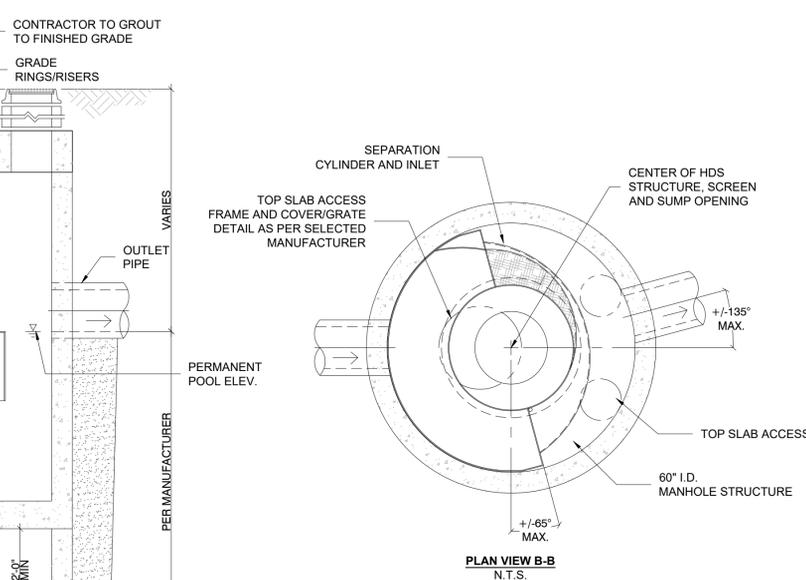


2 TEMPORARY SOIL STOCKPILE DETAIL
SCALE: N.T.S.



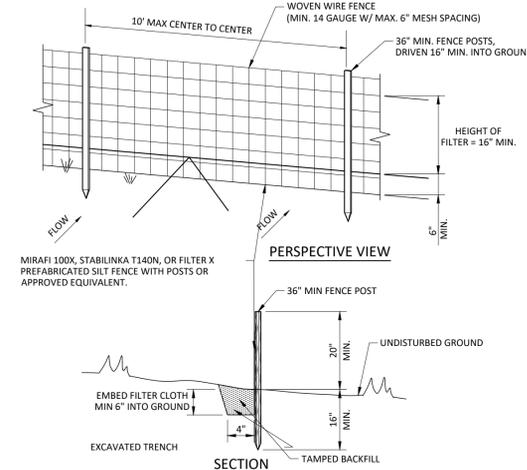
5 HYDRODYNAMIC SEPARATOR (HDS-1)
SCALE: N.T.S.

3 TEMPORARY INLET PROTECTION
SCALE: N.T.S.



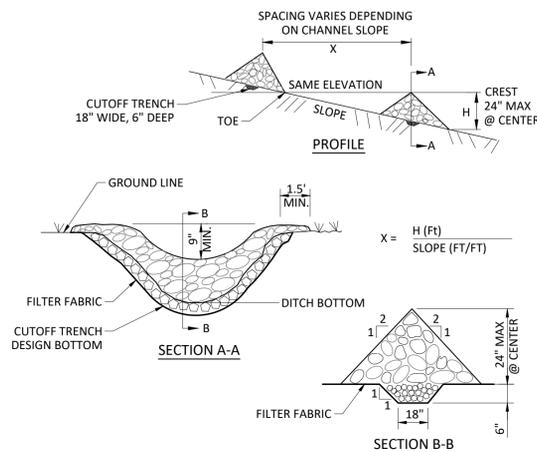
- NOTES:**
- SEE SITE PLANS FOR LOCATION, QUANTITY, SIZE, MATERIAL, INVERT, AND ANGLE FOR ALL INLET AND OUTLET PIPES.
 - INSTALL HYDRODYNAMIC SEPARATOR IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
 - INSTALL WITH SOLID COVER OR INLET GRATE AS SHOWN ON PLAN. PROVIDE ADEQUATE GRADE RINGS OR GRADE ADJUSTMENT AS REQUIRED FOR INSTALLATIONS ADJACENT TO CURBS.

6 SILT FENCE INSTALLATION DETAIL
SCALE: N.T.S.

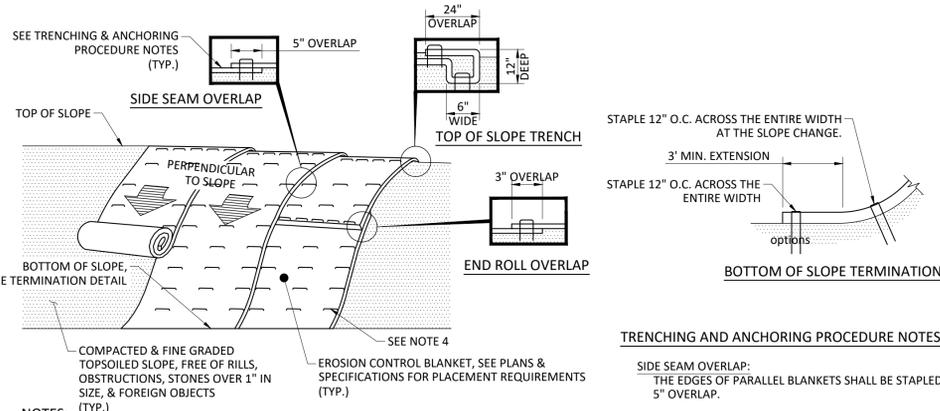


- CONSTRUCTION SPECIFICATIONS:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 GAUGE, 6" MAX MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVE EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

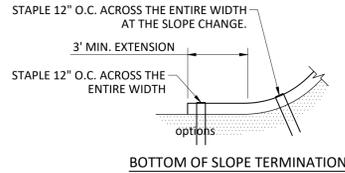
7 CHECK DAM INSTALLATION DETAIL
SCALE: N.T.S.



- CONSTRUCTION SPECIFICATIONS:**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.



- NOTES:**
- PREPARE THE TOPSOIL (SEEDBED) FIRST BY RAKING, SHAPING, FINE GRADING, COMPACTING, SEEDING & FERTILIZING THE SLOPES.
 - USE THE TRENCHING & ANCHORING PROCEDURES DETAILED HEREIN TO SECURE ANY EXPOSED MATERIAL ENDS. SECURE ALL PRODUCT OVERLAPS. OVERLAP IN THE DIRECTION OF WATER FLOW, PERPENDICULAR TO THE SLOPE.
 - KEEP EROSION CONTROL BLANKET IN SOLID CONTACT WITH THE TOPSOIL.
 - USE THE REQUIRED NUMBER OF STAPLES/STAKES TO SECURELY FASTEN THE EROSION CONTROL BLANKET TO THE SLOPE. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES/STAKES LENGTHS GREATER THAN 6" MAYBE NECESSARY FOR PROPER SECURING. STAPLE PATTERNS & OVERLAPS ARE DEPENDENT ON SITE CONDITIONS & MANUFACTURER'S REQUIREMENTS. CONTRACTOR SHALL CONSULT WITH MANUFACTURER FOR ACTUAL SITE SPECIFIC REQUIREMENTS.
 - PROVIDE EROSION CONTROL BLANKET ON ALL SLOPES GREATER THAN 3:1.



TRENCHING AND ANCHORING PROCEDURE NOTES:

- SIDE SEAM OVERLAP:**
THE EDGES OF PARALLEL BLANKETS SHALL BE STAPLED WITH A 5" OVERLAP.
- TOP OF SLOPE TRENCH:**
BEGIN AT THE TOP OF SLOPE BY ANCHORING THE EROSION CONTROL BLANKET IN A 6" D X 6" W TRENCH WITH A 12" OVERLAP EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR WITH A ROW OF STAPLES/STAKES 12" O.C. IN THE BOTTOM OF THE TRENCH. BACKFILL & COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL & FOLD THE REMAINING 12" PORTION OF THE EROSION CONTROL BLANKET BACK OVER THE SEED & COMPACTED SOIL. SECURE THE EROSION CONTROL BLANKET OVER THE COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED 12" O.C. ACROSS THE ENTIRE WIDTH.
- END ROLL OVERLAP:**
CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE SHALL BE PLACED END OVER END SHINGLE-STYLE WITH A 3" OVERLAP. STAPLE THRU OVERLAPPED AREAS, 12" APART ACROSS THE ENTIRE WIDTH.

Lead Consultant:



Project Sponsor:



Professional Stamp



JERE TATCH, RLA
ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK

SITE
DEVELOPMENT
PHASE I

Sheet Title:

EROSION
CONTROL
DETAILS

Drawing Log:

Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
CHECKED BY: - JET
FILE: -
JOB. NO.: - 20-015.8

DRAWING NO.:

C201

Revision No.

Drawing Log:

Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

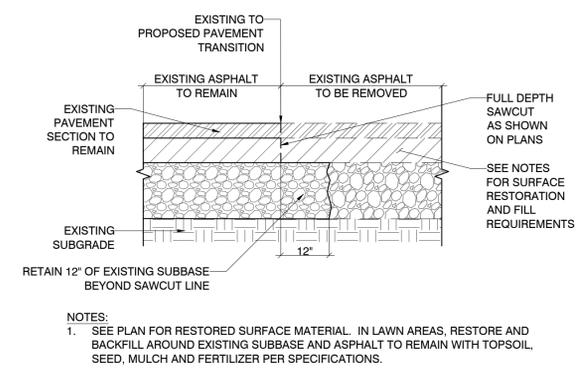
DRAWN BY:	- MEW
CHECKED BY:	- JET
FILE:	-
JOB. NO.:	- 20-015.8

DRAWING NO.:

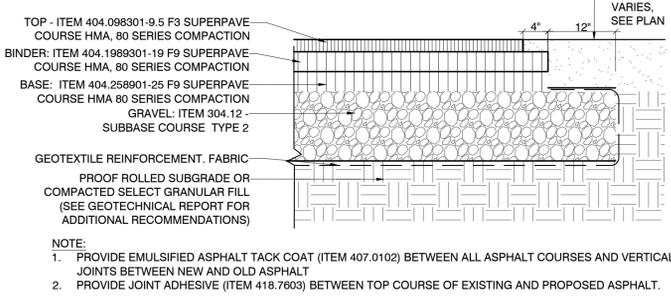
C202

Revision No.

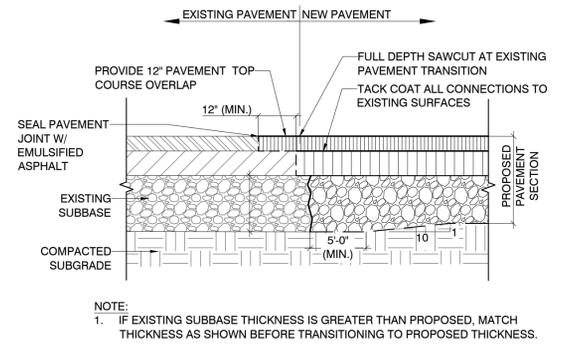
PAVEMENT SECTION SCHEDULE					
PAVEMENT TYPE	TOP COURSE THICKNESS	BINDER COURSE THICKNESS	BASE COURSE	SUBBASE COURSE THICKNESS	GEOTEXTILE FABRIC
TYPE A - HEAVY DUTY PAVEMENT FOR MAIN ACCESS ROADS	2"	3"	N/A	12"	YES
TYPE B - HEAVY DUTY PAVEMENT FOR NYS DOT ROW	2"	3"	4"	12"	YES
TYPE B - PEDESTRIAN WALKWAYS	1 1/2"	2"	N/A	8"	YES



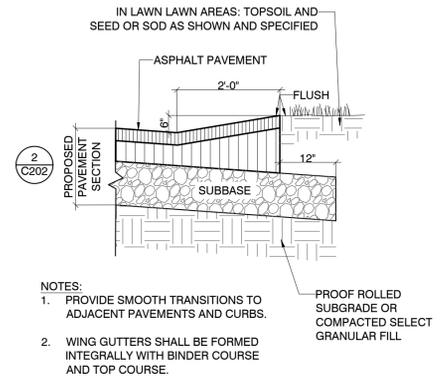
1 PERMANENT ASPHALT SAWCUT DETAIL
 SCALE: NOT TO SCALE



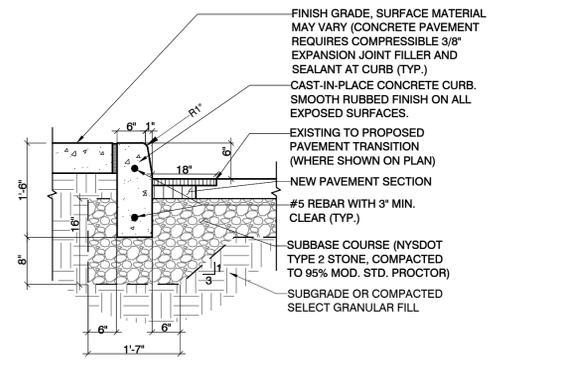
2 ASPHALT PAVEMENT SECTION
 SCALE: NOT TO SCALE



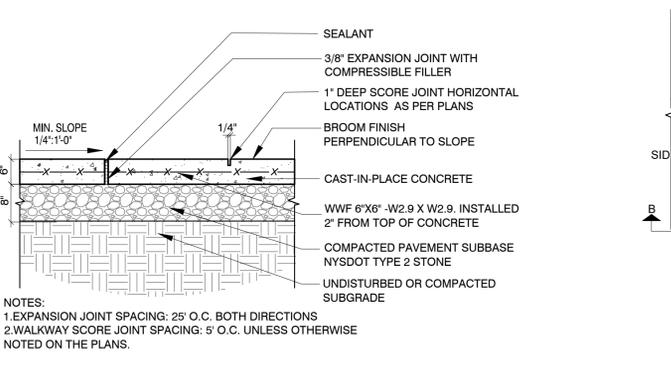
3 EXISTING TO PROPOSED PAVEMENT TRANSITION
 SCALE: NOT TO SCALE



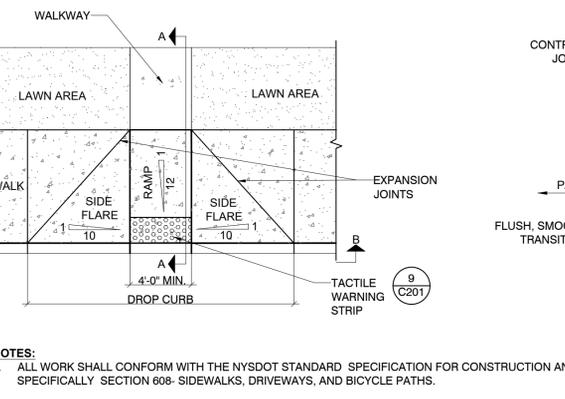
4 ASPHALT WING GUTTER
 SCALE: NOT TO SCALE



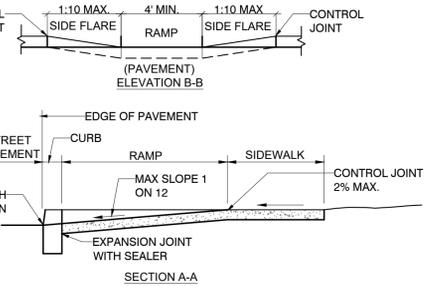
5 CAST-IN-PLACE CONCRETE CURB
 SCALE: NOT TO SCALE



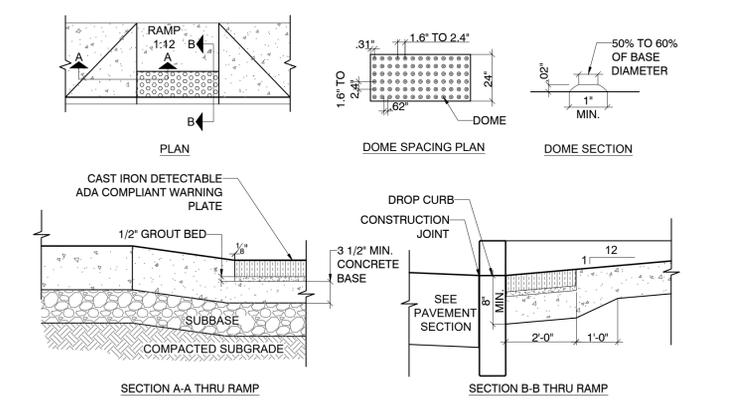
6 CAST-IN-PLACE CONCRETE PAVEMENT
 SCALE: NOT TO SCALE



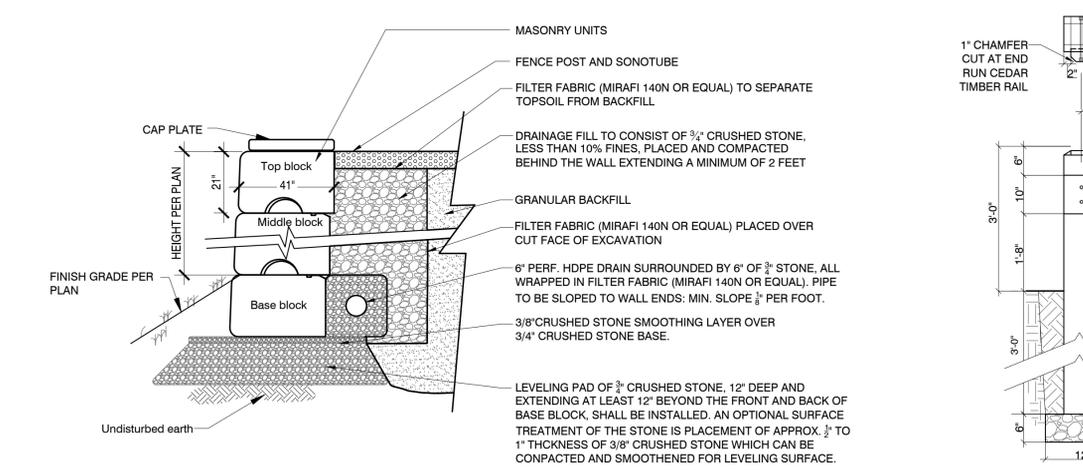
7 HANDICAP ACCESSIBLE CURB RAMP
 SCALE: NOT TO SCALE



8 HANDICAP ACCESSIBLE CURB TACTILE WARNING STRIP FOR RAMPS DOT NO. 608-01
 SCALE: NOT TO SCALE



9 MASONRY UNIT WALL
 SCALE: NOT TO SCALE



10 TIMBER BARRIER FENCE
 SCALE: NOT TO SCALE

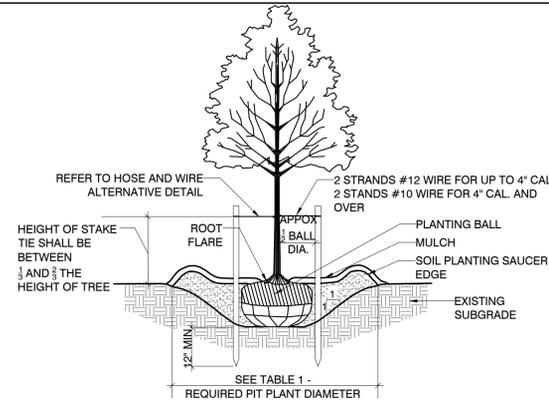
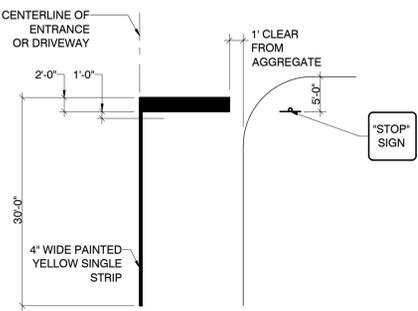


TABLE 1-REQUIRED PLANT PIT DIAMETER

ROOT SPREAD / ROOT BALL DIAMETER	PLANT PIT DIAMETER
UNDER 2'-0"	3X THE ROOT SPREAD OR BALL DIAMETER
FROM 2'-0" TO 4'-0"	2.5X THE ROOT SPREAD OR BALL DIAMETER
OVER 4'-0"	2X THE ROOT SPREAD OR BALL DIAMETER

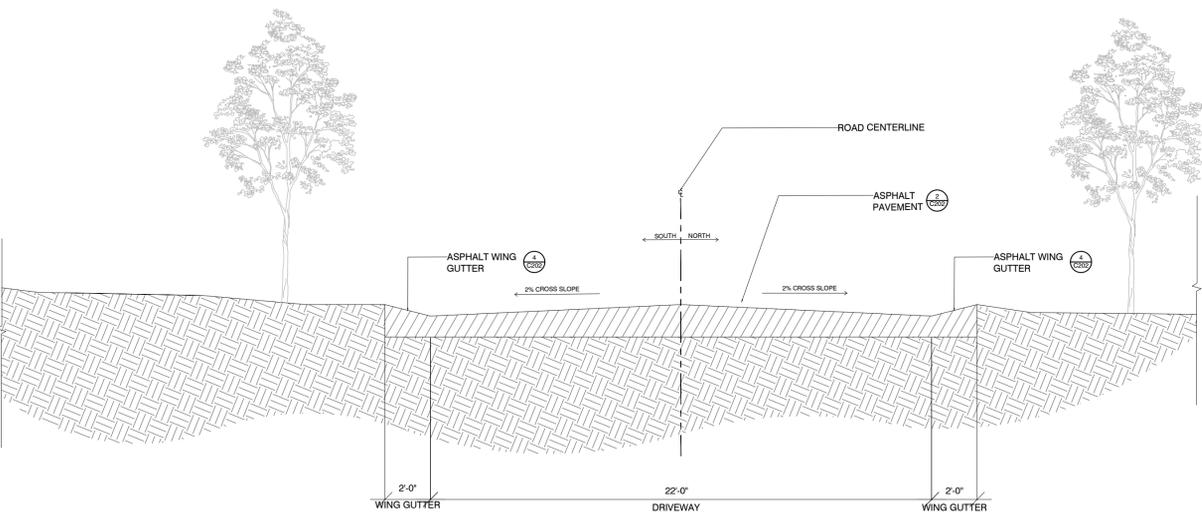
- NOTES:
- PLANTING BALL - ON B&B MATERIAL, BURLAP AND WIRE BASKET OR OTHER CONTAINER SHALL BE REMOVED FROM THE UPPER HALF OF THE ROOT BALL AND DISPOSED OF.
 - HEIGHT OF PLANTING SAUCER SHALL BE 3".
 - MULCH SHALL BE A MAXIMUM OF 3" DEEP AND TAPERED DOWN TO LEAVE THE ROOT FLARE EXPOSED. WHEN PLANTING ON SLOPES, DOWNHILL SIDE MUST BE STABILIZED OR SEEDING ON DOWNHILL SIDE MAY BE SPECIFIED.
 - THE ROOT FLARE SHALL BE VIABLE AND LEVEL WITH SURROUNDING SOIL.

1 TREE PLANTING
SCALE: NOT TO SCALE

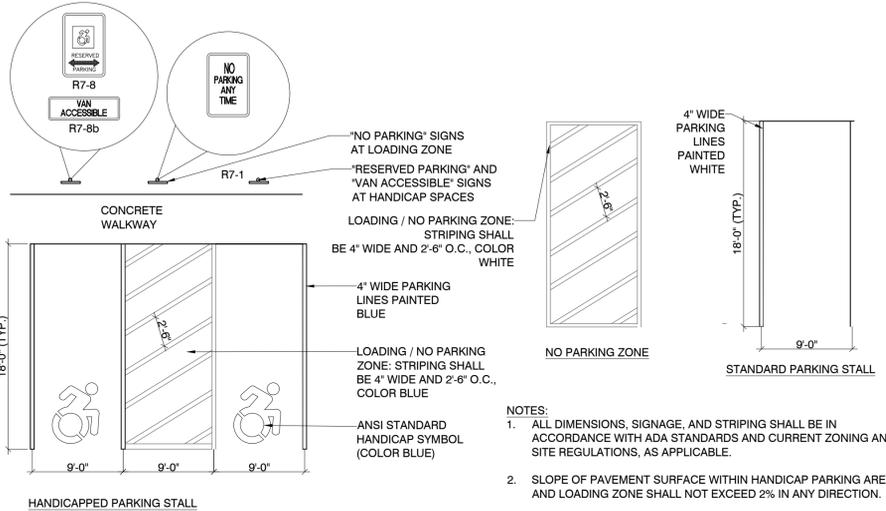
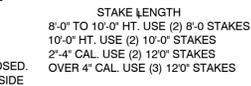


- NOTES:
- TERMINATE CENTERLINE STRIPING AT ALL DRIVEWAY INTERSECTIONS. ALL OTHER AREAS OF THE ROADWAY SHALL BE CONTINUOUS STRIPING. BREAK INTERSECTION SIDE EDGE STRIPING AS REQUIRED.
 - PAINT MATERIALS SHALL CONFORM TO CONTRACT SPECIFICATION.

4 PAVEMENT MARKINGS AND STRIPING
SCALE: NOT TO SCALE

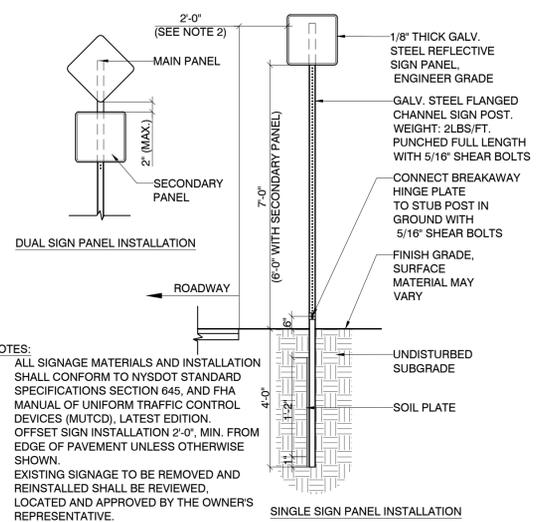


5 SECTION THROUGH SUNSET DRIVE
SCALE: NOT TO SCALE



2 PARKING LOT PAVEMENT STRIPING DETAIL
SCALE: NOT TO SCALE

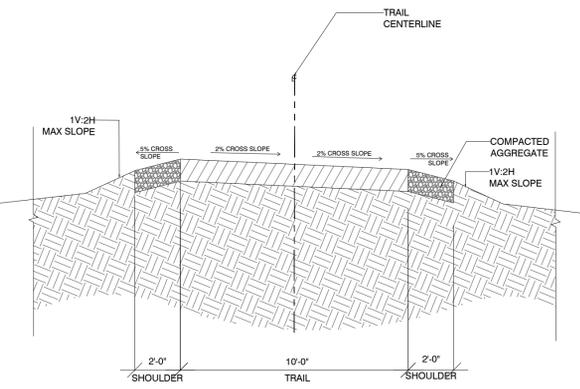
- NOTES:
- ALL DIMENSIONS, SIGNAGE, AND STRIPING SHALL BE IN ACCORDANCE WITH ADA STANDARDS AND CURRENT ZONING AND SITE REGULATIONS, AS APPLICABLE.
 - SLOPE OF PAVEMENT SURFACE WITHIN HANDICAP PARKING AREA AND LOADING ZONE SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - SEE PLAN FOR LOCATION OF HANDICAP SPACES AND SIGNAGE.



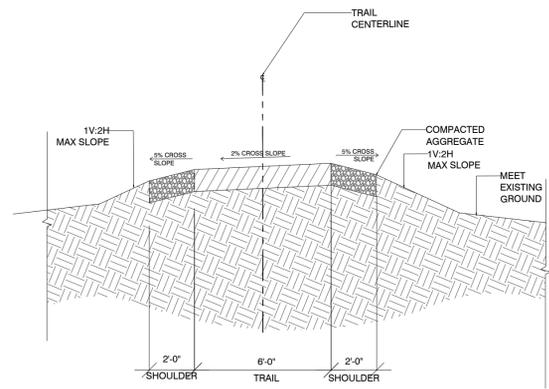
SIGNAGE SCHEDULE

KEY	QUANTITY	TYPE	MUTCD ID
①	2	HANDICAP PARKING SIGN	R7-8, R7-8a
②	3	NO PARKING ANY TIME SIGN	R7-1
③	3	STOP SIGN	R1-1
④	1	SUNSET DRIVE	D3-1
⑤	2	RELOCATE EMPIRE STATE TRAIL SIGN ASSEMBLIES	N/A

3 ROAD SIGNAGE
SCALE: NOT TO SCALE



6 SECTION THROUGH MULTI-USE TRAIL 1 (10')
SCALE: NOT TO SCALE



7 SECTION THROUGH MULTI-USE TRAIL 2 (6')
SCALE: NOT TO SCALE

Lead Consultant:

ELAN
PLANNING & DESIGN, LLC
18 DIVISION STREET
STUDIO 304
SARATOGA SPRINGS
NEW YORK 12866

Project Sponsor:

NEW YORK STATE
Department of State

This document was prepared with funding provided by the New York State Department of State under Title 11 of the Environmental Protection Fund.
NYS DSS Contract No. C1000931

Professional Stamp

REGISTERED LANDSCAPE ARCHITECT
JERE E. TATICH
STATE OF NEW YORK
001803

JERE TATICH, RLA
ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK

SITE DEVELOPMENT
PHASE I

Sheet Title:

-SITE DETAILS -
SITE & CROSS
SECTION

Drawing Log:

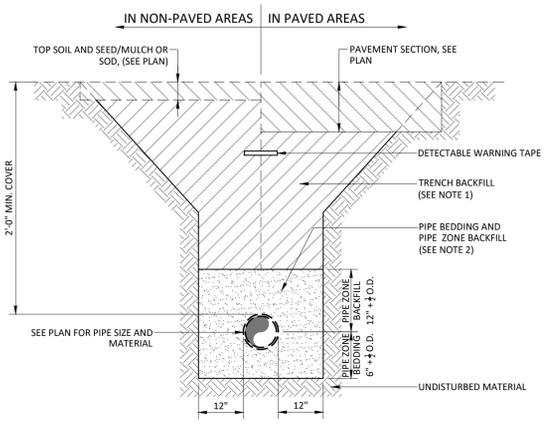
Rev. 05	DATE
Rev. 04	DATE
Rev. 03	DATE
Rev. 02	DATE
Rev. 01	DATE
Rev. 02	DATE
Rev. 01	DATE
DATE	FEBRUARY 7, 2023

DRAWN BY: - MEW
CHECKED BY: - JET
FILE: -
JOB NO.: - 20-015.8

DRAWING NO.:

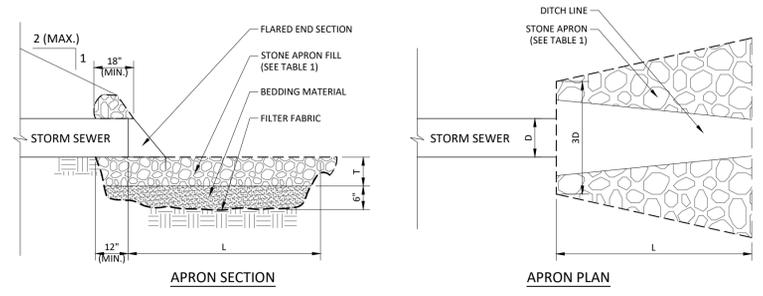
C203

Revision No.



- NOTES:**
- TRENCH BACKFILL IN NON-TRAFFIC, UNPAVED AREAS MAY UTILIZE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER.
 - PIPE BEDDING, PIPE ZONE BACKFILL, AND TRENCH BACKFILL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR.
 - CONTINUOUS DETECTABLE MARKING TAPE SHALL BE INSTALLED DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING.
 - TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.

1 STORM SEWER PIPE TRENCH DETAIL
SCALE: N.T.S.

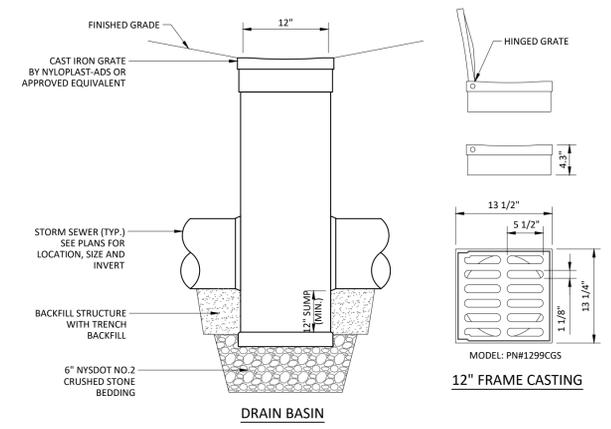


**TABLE 1
STONE APRON SIZING REQUIREMENTS**

CULVERT DIA., D (IN)	CULVERT SLOPE (%)	NYS DOT STANDARD STONE FILLING APRON MATERIAL	MINIMUM APRON THICKNESS, T (IN)	MINIMUM APRON LENGTH, L (FT)
12	< 8	LIGHT	18	10

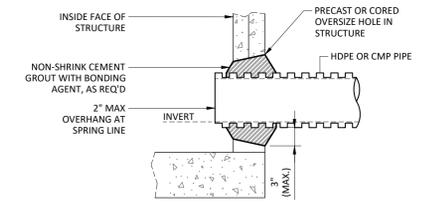
- NOTES:**
- END SECTION SHALL BE FURNISHED WITH A GAGE EQUAL TO OR LARGER THAN THE GAGE OF THE PIPE BEING ATTACHED TO.
 - SKIRT SECTION FOR 12" THRU 24" DIAMETER PIPE SHALL BE MADE IN ONE PIECE.
 - TOE PLATE TO BE PUNCHED TO MATCH HOLE IN SKIRT LIP, 3/8" GALVANIZED BOLTS TO BE FURNISHED. LENGTH OF TOE PLATE = W + 10 FOR 12" DIAMETER PIPE.
 - STONE APRON FILL SHALL MEET NYS DOT STANDARD SPECIFICATIONS SECTION 620.
 - STONE APRON BEDDING MATERIAL SHALL MEET NYS DOT STANDARD SPECIFICATIONS SECTION 620.
 - APRON DIMENSIONS SHOWN IN TABLE 1 ARE THE MINIMUM REQUIRED. WHEN APRON DIMENSIONS SHOWN ON PLAN EXCEED THOSE IN TABLE 1, THE DIMENSIONS SHOWN ON PLAN SHALL RULE.

2 FLARED END SECTION AND STONE LINED APRON DETAIL
SCALE: N.T.S.



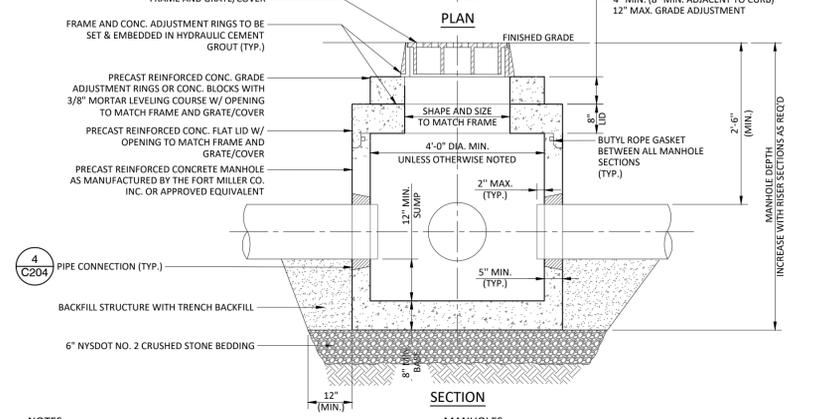
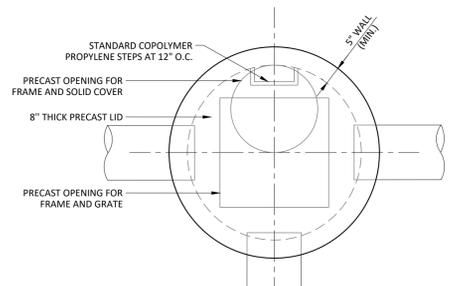
- NOTES:**
- SIZE OF BASIN TO MATCH LARGEST CONNECTED STORM PIPE, UNLESS OTHERWISE INDICATED.
 - FRAMES AND COVERS/GRATES SHALL BE PEDESTRIAN/ADA RATED IN NON-TRAFFIC AREAS AND HS20-44 RATED IN TRAFFIC AREAS. FRAMES AND COVERS/GRATES SHALL BE SELECTED FROM MANUFACTURER'S STANDARD LIST MATCHING DRAIN BASIN DIMENSIONS.
 - FRAMES AND GRATES SHALL BE DUCTILE IRON A536 GRADE 70-50-05.
 - CASTINGS PAINT: BLACK

3 PVC DRAIN BASIN
SCALE: N.T.S.



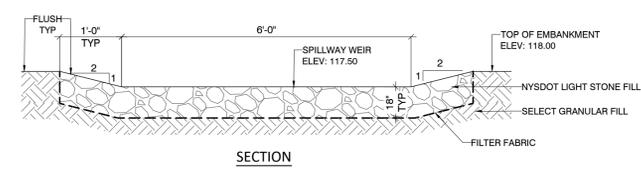
- NOTES:**
- MAINTAIN MINIMUM SUMP FOR CONNECTIONS TO NEW STORM STRUCTURES.

4 CEMENT GROUT STORM PIPE CONNECTION TO DRAINAGE STRUCTURE
SCALE: N.T.S.

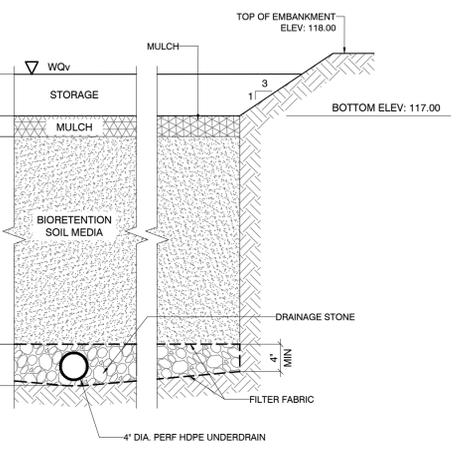


- NOTES:**
- POLYPROPYLENE STEPS ARE REQUIRED WHEN TOP OF FRAME TO BOTTOM FLOOR EXCEEDS 4'-0". DEPTH FROM TOP OF FRAME TO FIRST STEP SHALL BE 24" MAX.
 - ALL PRECAST CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASTM C478.
 - PRECAST LID AND MANHOLE TO BE DESIGNED FOR AASHTO HS20-44 TRUCK LOADING AND 25% IMPACT.
 - CATCH BASINS INSTALLED AT CURBS SHALL HAVE FRAME/GRATE SET ADJACENT TO CURB LINE. WITH OPENINGS ORIENTED PERPENDICULAR TO FLOW. PROVIDE ADDITIONAL GRADE ADJUSTMENT AS REQUIRED TO INSTALL CURB.
 - ADD MANHOLE SECTIONS AS REQUIRED TO ATTAIN DIMENSIONS INDICATED ON PLAN.
 - MANHOLE FRAME AND COVER AND CATCH BASIN FRAME AND GRATE SHALL BE DESIGNED FOR AASHTO HS20-44 TRUCK LOADING AND 25% IMPACT.
 - PRECAST CONCRETE LID CLEAR OPENING MUST MATCH FRAME CLEAR OPENING DIMENSION.
 - BACKFILL USING TRENCH BACKFILL, COMPACTED IN 6" LIFTS.
 - 30" DIAMETER MANHOLE FRAME AND COVER NO. R-2558 AS MANUFACTURED BY NEENAH FOUNDRY OR APPROVED EQUIVALENT. COVER MUST BE CLEARLY LABELED "STORM SEWER."
 - LOCATE MANHOLE COVER DIRECTLY OVER MANHOLE STEPS.
 - ECCENTRIC CONE TOP CAN BE USED FOR MANHOLES WITH DEPTH GREATER THAN 7'-0".
 - 24" SQUARE CATCH BASIN FRAME AND GRATE NO. V-5726 AS MANUFACTURED BY EJ GROUP, INC. OR APPROVED EQUIVALENT.
 - 30" SQUARE CATCH BASIN FRAME AND GRATE (WHERE SHOWN ON PLAN) NO. 00541911 / 00541931 AS MANUFACTURED BY EJ GROUP, INC. OR APPROVED EQUIVALENT.
 - FRAME AND GRATES LOCATED WITHIN PEDESTRIAN WALKING PATHS SHALL BE ADA COMPLIANT, NO. V-5726-80 AS MANUFACTURED BY EJ GROUP, INC. OR APPROVED EQUIVALENT.
 - OPENING FOR FRAME AND GRATE IN CENTER OF PRECAST LID UNLESS OTHERWISE INDICATED.

5 PRECAST CONCRETE CATCH BASIN/MANHOLE DETAIL
SCALE: N.T.S.



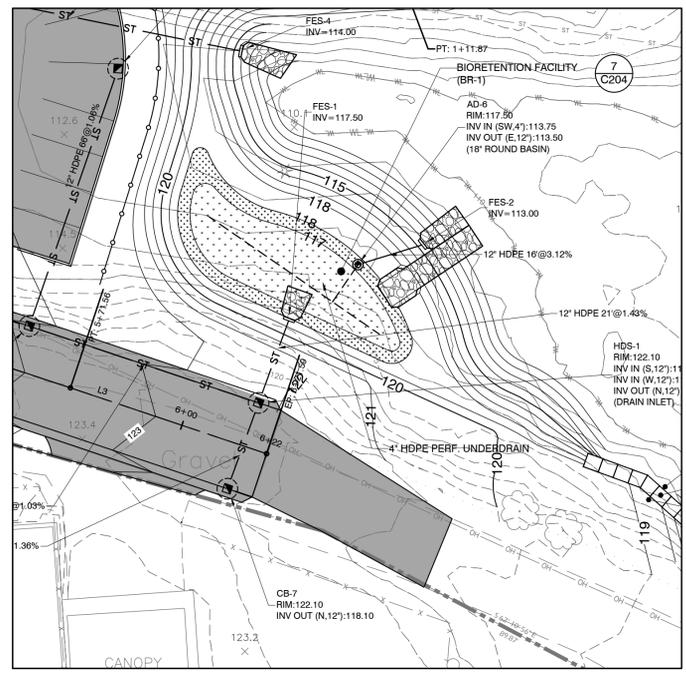
6 BIORETENTION SPILLWAY WEIR
SCALE: N.T.S.



BIORETENTION PLANTING SCHEDULE

ZONE	AREA (SF)	BOTANICAL NAME	COMMON NAME	ROOT	SPACING	RATIO	AREA (SF)	QUANTITY	REMARKS
LOW	875	PELTANDRA VIRGINICA	ARROW ARUM	2" PLUG	3'-0" O.C.	35%	306	34	RANDOMLY DISTRIBUTE THROUGHOUT AREA
		PONTEFERIA CORDATA	PICKERELWEED	2" PLUG	3'-0" O.C.	35%	306	34	RANDOMLY DISTRIBUTE THROUGHOUT AREA
		SAGITTARIA LATIFOLIA	DUCK POTATO	QUART POT	3'-0" O.C.	30%	262	29	RANDOMLY DISTRIBUTE THROUGHOUT AREA
MIDDLE	470	PYRUS ARBUTIFOLIA	RED CHOKE BERRY	1 GAL	8'-0" O.C.	50%	235	4	VARY AND BALANCE AROUND PERIMETER
		ROSA PALUSTRIS	SPECKLED ALDER	1 GAL	10'-0" O.C.	50%	235	3	VARY AND BALANCE AROUND PERIMETER

7 BIORETENTION TYPICAL SECTION
SCALE: N.T.S.



PLAN (1" = 20')

**TABLE 3
DRIVEWAY MATERIALS AND THICKNESS**

PROPOSED OR EXISTING DRIVE	WITHIN DRIVEWAY PAVEMENT LENGTH (FT.)			WITHIN TRANSITION LENGTH (FT.)		
	MATERIAL	THICKNESS FOR RESIDENTIAL (IN.)	THICKNESS FOR MINOR COMMERCIAL (IN.)	MATERIAL	THICKNESS FOR RESIDENTIAL (IN.)	THICKNESS FOR MINOR COMMERCIAL (IN.)
DIRT, GRAVEL, OR GRAVEL	HMA	3	4	SUBBASE COURSE, EXCESSIVE AS NECESSARY	6	9
	SUBBASE COURSE	6	8			
STONE	HMA	3	4	STONE EXCESSIVE AS NECESSARY	8	11
	SUBBASE COURSE	6	8			
HMA (RESURFACING)	HMA	1½	1½	NOT APPLICABLE - ALL WORK ON AN EXISTING PAVED DRIVEWAY IS WITHIN THE DRIVEWAY PAVEMENT LENGTH		
	PRE AND LEVELING COURSE	AS NECESSARY	AS NECESSARY			
HMA RECONSTRUCTION	HMA	3	4	SEE NOTE B	NOT APPLICABLE - ALL WORK ON AN EXISTING PAVED DRIVEWAY IS WITHIN THE DRIVEWAY PAVEMENT LENGTH	
	SUBBASE COURSE	6	8	SEE NOTE 10		
PCC	PCC	6	6	SEE NOTE 9	NOT APPLICABLE - ALL WORK ON AN EXISTING PAVED DRIVEWAY IS WITHIN THE DRIVEWAY PAVEMENT LENGTH	
	SUBBASE COURSE	6	8	SEE NOTE 10		

**TABLE 5
MINIMUM LENGTH OF VERTICAL CURVE, L, FOR CHANGE IN GRADE IN DRIVEWAY PROFILE**

CHANGES IN GRADE (1) (2)	CREST, Lc (3)	SAG, Ls (4)
4:52	5	6
6:42	5	7
8:32	6	8
10:22	6	8
12:12	7	9
14:02	7	9
15:52	8	10
17:42	8	10
19:32	9	11

LENGTH OF VERTICAL CURVE BASED ON 30' CURVE RADIUS AND THE ASSHTD PASSENGER VEHICLE AND SINGLE UNIT TRUCK CLEARANCES.

**TABLE 1
RECOMMENDED DRIVEWAY WIDTH "W"**

DRIVEWAY CLASSIFICATION	PRESUMEDLY RANGE OF MOTOR 17.2 WITHIN 30 FT. OF TRAVELER BUT FOR ROAD POSTED 40 MPH OR LESS	PRESUMEDLY RANGE OF MOTOR 35 WITHIN 30 FT. OF TRAVELER BUT FOR ROAD POSTED 40 MPH OR MORE
RESIDENTIAL LESS THAN 30 FT. IN LENGTH MEASURED ALONG THE CENTERLINE	9 TO 12	10 TO 24
RESIDENTIAL GREATER THAN 30 FT. IN LENGTH MEASURED ALONG THE CENTERLINE	9 TO 12	10 TO 14
MINOR COMMERCIAL SHARED TYP-WAY DRIVEWAY	22 TO 30	28 TO 35
MINOR COMMERCIAL DRIVEWAY OR ONE-WAY DRIVEWAY	12 TO 24	12 TO 24
MINOR COMMERCIAL MULTILANE DRIVEWAY	12 TO 15 EACH LANE	14 TO 16 EACH LANE

**TABLE 2
MAXIMUM DRIVEWAY SLOPE**

ROADWAY CLASSIFICATION	MINOR COMMERCIAL DRIVEWAY	RESIDENTIAL DRIVEWAY
RURAL	10%	12%
URBAN	6%	8%

**TABLE 4
DRIVEWAY ENTRANCE TYPE SELECTION**

DRIVEWAY ENTRANCE TYPE	ENTRANCE BEARING METHOD	CONDITIONS FOR USE				RECOMMENDED USE
		DRIVEWAY CLASSIFICATION (1)	CORNER ANGLE (2)	TRAVEL LANE AND SHOULDER WIDTH (3)	ROADWAY DESIGN SPEED (4)	
TYPE 1	RADIUS	RESIDENTIAL OR MINOR COMMERCIAL	60° TO 120°	ANY	USE WITH OR WITHOUT CURB	RECOMMENDED FOR ALL LOCATIONS EXCEPT FOR WITH CURB
		MINOR COMMERCIAL ONLY	60° TO 120°	ANY	USE WITH OR WITHOUT CURB	RECOMMENDED ONLY FOR MINOR COMMERCIAL WITH CURB
TYPE 2	RADIUS	RESIDENTIAL OR MINOR COMMERCIAL	60° TO 120°	ANY	USE ONLY WITH SIDEWALK OFFSET A MIN. OF 2' FROM THE EDGE OF PAVEMENT ON WITHOUT SIDEWALK	ALTERNATIVE ENTRANCE TYPE TYPICALLY FOR URBAN AREA USE
		MINOR COMMERCIAL ONLY	60° TO 120°	ANY	USE ONLY WITH SIDEWALK OFFSET A MIN. OF 2' FROM THE EDGE OF PAVEMENT ON WITHOUT SIDEWALK	ALTERNATIVE ENTRANCE TYPE TYPICALLY FOR URBAN AREA USE
TYPE 3	TAPER	RESIDENTIAL OR MINOR COMMERCIAL	60° TO 100°	16" OR GREATER WITH CURB (SEE NOTE 6)	USE ONLY WITH SIDEWALK LESS THAN 2' FROM ON-ALIGNED TO THE EDGE OF PAVEMENT	ALTERNATIVE ENTRANCE TYPE TYPICALLY FOR URBAN AREA USE
		MINOR COMMERCIAL ONLY	60° TO 100°	16" OR GREATER WITH CURB (SEE NOTE 6)	USE ONLY WITH SIDEWALK LESS THAN 2' FROM ON-ALIGNED TO THE EDGE OF PAVEMENT	ALTERNATIVE ENTRANCE TYPE TYPICALLY FOR URBAN AREA USE
TYPE 4	TAPER	RESIDENTIAL OR MINOR COMMERCIAL	60° TO 100°	16" OR GREATER WITH CURB (SEE NOTE 6)	USE ONLY WITH SIDEWALK LESS THAN 2' FROM ON-ALIGNED TO THE EDGE OF PAVEMENT	ALTERNATIVE ENTRANCE TYPE TYPICALLY FOR URBAN AREA USE
		MINOR COMMERCIAL ONLY	60° TO 100°	16" OR GREATER WITH CURB (SEE NOTE 6)	USE ONLY WITH SIDEWALK LESS THAN 2' FROM ON-ALIGNED TO THE EDGE OF PAVEMENT	ALTERNATIVE ENTRANCE TYPE TYPICALLY FOR URBAN AREA USE

TABLE 4 ONLY APPLIES TO RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS. FOR OTHER DRIVEWAY CLASSIFICATIONS MAJOR COMMERCIAL, FIELD ENTRANCE, ETC., REFER TO THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 5, APPENDIX SA "POLICY AND STANDARDS FOR THE DESIGN OF ENTRANCES TO STATE HIGHWAYS".

**TABLE 6
RADIUS METHOD - CORNER RADIUS**

DRIVEWAY CLASSIFICATION	"R"
RESIDENTIAL "W" ≤ 12'	10'
RESIDENTIAL "W" > 12'	15'
MINOR COMMERCIAL (W/ METHOD)	33'

**TABLE 7
RADIUS METHOD - DISTANCE FROM INTERSECTION POINT TO ARC TANGENT POINT**

CORNER ANGLE	RESIDENTIAL DRIVEWAY ≤ 12' WIDE (R=10')	RESIDENTIAL DRIVEWAY > 12' WIDE (R=15')	MINOR COMMERCIAL DRIVEWAY (R=33')
60°	27.7	22.5	57.2
65°	25.1	20.4	51.8
70°	22.8	18.6	47.1
75°	20.8	16.9	43.0
80°	19.1	15.6	39.3
85°	17.5	14.2	36.0
90°	16.0	13.0	33.0
95°	14.7	11.9	30.2
100°	13.4	10.9	27.7
105°	12.3	10.0	25.3
110°	11.2	9.3	23.1
115°	10.2	8.3	21.0
120°	9.2	7.5	19.0

SEE GENERAL NOTE 15.
** "R" REFERS TO EITHER "R_{TR}" OR "R_{OUT}". THE CORNER ANGLE FOR "R_{TR}" + "R_{OUT}" IS EQUAL TO 180°.

NEW YORK STATE OF TRANSPORTATION Department of Transportation

U.S. CUSTOMARY STANDARD SHEET

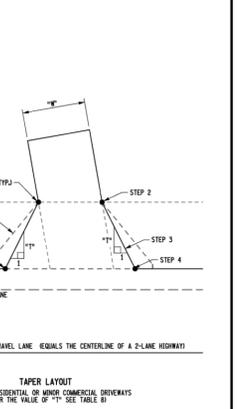
RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS (SHEET 1 OF 9)

APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
/s/ RICHARD W. LEE, P.E. DEPUTY CHIEF ENGINEER 608-03

**TABLE 8
TAPER METHOD VALUES**

DRIVEWAY CLASSIFICATION	TAPER (1/1')	LAYOUT DISTANCE
RESIDENTIAL	1/8"	20'
MINOR COMMERCIAL	1/16"	41'

LAYOUT DISTANCE IS MEASURED FROM THE INSIDE EDGE OF OUTERMOST TRAVEL LANE, TO THE LAYOUT LINE.



NEW YORK STATE OF TRANSPORTATION Department of Transportation

U.S. CUSTOMARY STANDARD SHEET

RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS (SHEET 3 OF 9)

APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
/s/ RICHARD W. LEE, P.E. DEPUTY CHIEF ENGINEER 608-03

DEFINITION OF TERMS:

DRIVEWAY - EVERY ENTRANCE OR EXIT USED BY HIGHWAY TRAFFIC TO AND FROM LANES OR BUILDINGS ADJACENT TO A HIGHWAY.

RESIDENTIAL DRIVEWAY - A DRIVEWAY SERVING FOUR OR FEWER PRIVATE HOMES OR AN APARTMENT BUILDING FOR FOUR OR FEWER FAMILY UNITS.

COMMERCIAL DRIVEWAY - A DRIVEWAY SERVING A COMMERCIAL ESTABLISHMENT, INDUSTRY, GOVERNMENTAL OR EDUCATIONAL INSTITUTION, PUBLIC UTILITY, HOSPITAL, CHURCH, APARTMENT BUILDING, OR COMMERCIAL TRAFFIC GENERATOR.

MAJOR COMMERCIAL DRIVEWAY - ANY COMMERCIAL DRIVEWAY WHERE THE ACTUAL OR ANTICIPATED TRAFFIC VOLUMES ON A TYPICAL DAY ARE LESS THAN THE VALUES ESTABLISHED FOR A MAJOR COMMERCIAL DRIVEWAY.

MINOR COMMERCIAL DRIVEWAY - ANY COMMERCIAL DRIVEWAY WHERE THE ACTUAL OR ANTICIPATED TRAFFIC VOLUMES ON A TYPICAL DAY ARE LESS THAN THE VALUES ESTABLISHED FOR A MAJOR COMMERCIAL DRIVEWAY.

FIELD ENTRANCE - A DRIVEWAY SERVING A FARMWORLD, CULTIVATED OR UNCULTIVATED FIELD, FORESTLAND OR UNDEVELOPED LAND NOT USED FOR INDUSTRIAL, COMMERCIAL, OR RESIDENTIAL PURPOSES.

URBAN URBAN - THE AREA CHARACTERIZED BASED ON NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 2, SECTION 2.4.

DRIVEWAY OFFSET - THE DISTANCE IN FEET MEASURED FROM THE INSIDE EDGE OF THE OUTERMOST TRAVEL LANE OR TURNING LANE TO THE INSIDE EDGE OF PAVEMENT. THE DISTANCE IS EQUAL TO THE WIDTH OF THE OUTERMOST LANE AND THE WIDTH OF THE PAVED SHOULDER ON CURB OFFSET.

HIGHWAY EDGE OF PAVEMENT - THE OUTSIDE EDGE OF THE PAVED HIGHWAY SURFACE.

SHOULDER WIDTH - THE WIDTH IN FEET OF PAVED SHOULDER INCLUDING A PARKING LANE, BICYCLE LANE, CURB OFFSET, OR OTHER PAVED AREA OUTSIDE OF THE TRAVEL LANE.

MINIMUM PAVING LIMIT (MPL) - THE MINIMUM DISTANCE IN FEET MEASURED ALONG THE CENTERLINE OF A DRIVEWAY FROM THE INSIDE EDGE OF THE OUTERMOST TRAVEL LANE TO A DRIVEWAY THAT IS PAVED INCLUDING THE SHOULDER WIDTH.

PAVEMENT LENGTH (PL) - THE DISTANCE IN FEET MEASURED ALONG THE CENTERLINE OF A DRIVEWAY FROM THE HIGHWAY EDGE OF PAVEMENT TO THE END OF PROPOSED DRIVEWAY TRANSITION.

TRANSITION LENGTH (TL) - THE DISTANCE IN FEET MEASURED ALONG THE CENTERLINE OF A DRIVEWAY FROM THE DRIVEWAY PAVEMENT TO THE END OF THE PROPOSED DRIVEWAY TRANSITION. THE TRANSITION LENGTH (TL) ONLY APPLIES TO DRIVEWAYS THAT ARE UNPAVED.

DRIVEWAY WIDTH - A PHYSICAL DISTANCE SEPARATING THE PEDESTRIAN ACCESS ROUTE AND THE VEHICLE TRAVELLED WAY. THE BUFFER ZONE BUFFERS PEDESTRIANS FROM TRAFFIC AND PROVIDES SPACE FOR SIGN STRUCTURES, UTILITIES, PLANTS, AND OTHER STREET APPURTENANCES. THE BUFFER ZONE MAY BE PLANTED OR PAVED.

SHOULDER WIDTH - A DESIGN BUFFER FACILITY, TYPICALLY WITHIN THE RIGHT-OF-WAY, SEPARATED FROM MOTORISED VEHICULAR TRAFFIC BY A BUFFER ZONE OR OTHER BUFFER FACILITY. IT IS TYPICALLY USED FOR SHOULDER USE AND FOR THE SEPARATION OF SHOULDER USE FROM HIGHWAYS.

SIDEWALK - A SMOOTH, STABLE AND SLIP RESISTANT EXTERIOR PATHWAY INTENDED FOR PEDESTRIAN OR BICYCLE VEHICULAR WAY SEPARATED WITH A CURB OFFSET.

HMA - HOT MIX ASPHALT.

PCC - PORTLAND CEMENT CONCRETE.

GENERAL NOTES FOR DRIVEWAY STANDARD SHEETS:

- THE DRIVEWAY STANDARD SHEETS APPLY TO FIELD ENTRANCES, RESIDENTIAL DRIVEWAYS AND MINOR COMMERCIAL DRIVEWAYS. FIELD ENTRANCES AND RESIDENTIAL DRIVEWAYS ACCOMMODATE AN ASSHTD PASSENGER VEHICLE. MINOR COMMERCIAL DRIVEWAYS ACCOMMODATE AN ASSHTD SINGLE UNIT TRUCK DESIGN VEHICLE.
- DRIVEWAY MARK PERFORMED ON THE RIGHT-OF-WAY REQUIRES AN EASEMENT OR A DRIVEWAY RELEASE. A DRIVEWAY RELEASE WILL REQUIRE A TEMPORARY EASEMENT MAP.
- IF COMMERCIAL PROPERTY DEVELOPMENT PLANS INVOLVE NEW OR MODIFIED ACCESS TO A STATE HIGHWAY A COMMERCIAL DRIVEWAY MARK PAVEMENT APPLICATION FROM PERM 33-COM MUST BE FILED OUT AND SUBMITTED TO THE REGIONAL PERMIT COORDINATOR.
- SEE THE DRIVEWAY TABLE IN THE CONTRACT PLANS FOR SPECIFIC DRIVEWAY LOCATIONS, WIDTHS (W), CORNER ANGLES, LENGTHS (L), MATERIALS, AND ENTRANCE TYPE.
- DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAY APPROACH.
- THE TAPER METHOD IS GENERALLY NOT RECOMMENDED FOR DRIVEWAYS WITH A DRIVEWAY OFFSET LESS THAN 16 FEET. UNLESS IT CAN BE FULLY VERIFIED THAT THE DRIVEWAY ENTRANCE WIDTH WILL ACCOMMODATE THE VEHICLES THAT USE THE DRIVEWAY ON A REGULAR BASIS.
- WHERE PRIMAINE IS CARRIED ALONG THE CURB, CONSTRUCT THE DRIVEWAY WITH A SHORT UPGRADE TO PREVENT SHOULDER FROM FORMING AT THE DRIVEWAY ENTRANCE (LAYOUT LENGTH) OR RAMPING DOWN THE DRIVEWAY DOWNHILL (CURB SLOPE). IF CONDITIONS MAKE THE ACQUISITION OF A SHORT UPGRADE IMPRACTICAL, USE 1" CURB RISE AND CONTINUE CURB ACROSS THE DRIVEWAY OPENING. TYPICALLY, CURB RISES WILL NOT BE CONSTRUCTED IN RURAL AREAS. IF CURB RISES IS SPECIFIED FOR A SPECIFIC DRIVEWAY, IT WILL BE NOTED IN THE DRIVEWAY TABLE OF THE CONTRACT PLANS IN THE "COMMENTS" COLUMN.
- UP TO 1" OF PCC MAY BE REQUIRED FOR HEAVY TRUCKS PER CONTRACT DOCUMENTS.
- UP TO 1" OF SUBBASE MAY BE REQUIRED FOR HEAVY TRUCKS PER CONTRACT DOCUMENTS.
- THE DETAILS SHOW THE PAVEMENT LENGTH (PL) EXTENDING TO THE MINIMUM PAVING LIMIT (MPL). HOWEVER, THE "PL" CAN EXTEND BEYOND THE "MPL" AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- A DRIVEWAY TYP-UP SECTION SHOULD DRAW TO A LOCAL TYPING STANDARD. SIDEWALK SLOPE, WHERE THE DRIVEWAY GRADE MATCHES EXISTING GRASSLAND OR LAWN, SHOULD BE A REASONABLE LENGTH FOR TYPING. THE TYP-UP SECTION MUST BE TO THE EDGE OF DRIVEWAY 3' TO 4' FROM THE LENGTH OF CURB SLOPE. THE TYP-UP SECTION IS NOT PART OF THE DRIVEWAY OPENING WIDTH. REFER TO NYSDOT STANDARD SHEET 608-03 "MISCELLANEOUS CURB DETAILS" FOR THE CURB TRANSITION.
- TO DETERMINE THE LIMITS OF SHOULDER RECONSTRUCTION, REFER TO THE DRIVEWAY OPENING TABLES ON SHEET 4 FOR NO SHOULDER IF OFFSET.
- FOR PCC SHOULDER, SEE STANDARD SHEET 608-04 FOR LONGITUDINAL JOINT THE DETAILS.
- DIMENSIONS AND ANGLES MAY BE INTERPOLATED FOR VALUES OTHER THAN THOSE SHOWN IN THE TABLES.
- THE SHOULDER PAVEMENT THICKNESSES SHOWN ARE DEFAULT VALUES UNLESS OTHERWISE SHOWN IN THE TABLES. MATERIALS SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS.

WIDTH / LENGTH:

- WHERE THERE ARE CONSTRAINTS THAT PREVENT THE CONSTRUCTION OF THE DRIVEWAY OPENING USING EITHER THE RADIUS METHOD OR THE TAPER METHOD, A SMALL CORNER RADIUS OF 2' OR A "1/2 BELL" CURB ALONG THE DRIVEWAY APPROACH, PROVIDED THE DRIVEWAY OPENING MEETS THE REQUIREMENTS OF THE DRIVEWAY OPENING TABLES ON SHEET 4.
- FOR RESIDENTIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 10' FROM THE OUTSIDE EDGE OF THE DRIVEWAY. FOR MINOR COMMERCIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 30' FROM THE OUTSIDE EDGE OF TRAVEL LANE OR 2' FROM THE DRIVEWAY OPENING. TYPICALLY, CURB RISES WILL NOT BE CONSTRUCTED IN RURAL AREAS. IF CURB RISES IS SPECIFIED FOR A SPECIFIC DRIVEWAY, IT WILL BE NOTED IN THE DRIVEWAY TABLE OF THE CONTRACT PLANS.
- FOR GRASSLAND AND CONSTRUCTION REQUIREMENTS OF TRANSITIONS FROM PLACES WITH EXISTING HMA DRIVEWAYS, REFER TO SECTION 2.4.2.2 OF THE DRIVEWAY STANDARD SHEET 3 AND TABLE 3.
- FOR PCC DRIVEWAYS, REFER TO THE 500 SERIES STANDARD SHEETS FOR METAL REINFORCEMENT, JOINT TIES, SANDING AND SEALING, ETC.
- A 5' MINIMUM BUFFER ZONE SHALL BE USED UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.

DESIGN ELEMENT TOLERANCES

ELEMENT	DESIGN AND FIELD LAYOUT LIMIT	LIMIT FOR WORK ACCEPTANCE
SIDEWALK CROSS SLOPE - SEE NOTE 12	1.5% MAX.	2.0% MAX.
SIDEWALK GRADE (RUNNING SLOPE) - SEE NOTE 11	4.5% MAX.	5.0% MAX.
CURB RAMP GRADE (RUNNING SLOPE) - SEE NOTE 21	7.5% MAX.	8.3% MAX.
BLENDED TRANSITION GRADE (RUNNING SLOPE) - SEE NOTE 7	4.5% MAX.	5.0% MAX.

NOTES REFERENCED IN THE TABLE ABOVE CAN BE FOUND ON STANDARD SHEET 608-01 SHEET 1 OF 5.

ALL VALUES SHOWN ON THE 608-03 STANDARD SHEETS REFER TO DESIGN AND FIELD LAYOUT LIMITS.

FOR ADDITIONAL REQUIREMENTS AND TOLERANCES, SEE "CRITICAL ELEMENTS FOR THE DESIGN, LAYOUT, AND CONSTRUCTION OF PEDESTRIAN FACILITIES" AVAILABLE ON THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 18 MESSAGE.

DRIVEWAY OPENING LAYOUT:

THERE ARE TWO RECOMMENDED DRIVEWAY OPENING DESIGN METHODS: 1) THE RADIUS METHOD, WHICH UTILIZES A CIRCULAR ARC TO Widen THE DRIVEWAY, AND 2) THE TAPER METHOD, WHICH UTILIZES A STRAIGHT TAPER WIDENING OUT AT AN ESTABLISHED FLARE RATE.

THE RADIUS METHOD IS THE TYPICAL METHOD. ALTHOUGH THE TAPER METHOD IS RECOMMENDED ALTERNATIVE FOR URBAN AREA AND GREATER WIDTHS, IT IS NOT BETTER THAN THE RADIUS METHOD. REFER TO THE DRIVEWAY OPENING TABLES ON SHEET 4 FOR ADDITIONAL VARIABLES CONSIDERING THE SELECTION OF A DRIVEWAY OPENING DESIGN METHOD.

RADIUS METHOD OF LAYOUT:

- LOCATE AN OFFSET LINE 11' PARALLEL FROM THE INSIDE EDGE OF THE OUTERMOST TRAVEL LANE.
- SCRIBE A LINE PARALLEL TO THE OFFSET LINE, OFFSET "R" FEET (SEE TABLE 6).
- SCRIBE A LINE PARALLEL TO THE EDGE OF DRIVEWAY INEAR SIDE, OFFSET "W" FEET.
- FIND THE CENTER POINT OF THE CORNER RADIUS ARC, WHICH IS LOCATED AT THE INTERSECTION OF THE LINES FROM STEPS 2 AND 3.
- FROM THE CENTER POINT, SCRIBE AN ARC WITH RADIUS "R", WHICH IS TANGENT TO BOTH THE OFFSET LINE AND THE EDGE OF DRIVEWAY. THE ARC SHOULD INTERSECT THE LINES AT THE DISTANCES "L" LISTED IN TABLE 7. DISTANCES IN TABLE 7 ARE AS MEASURED FROM THE INTERSECTION POINT OF THE OFFSET LINE AND THE EDGE OF TRAVEL LANE AND THE PROJECTED EDGE OF DRIVEWAY TO EITHER OF THE ARC TANGENT POINTS. THE DISTANCE ALONG THE OFFSET LINE OR ALONG THE PROJECTED EDGE OF DRIVEWAY.
- FIND THE DRIVEWAY OPENING LIMIT POINT WHICH IS WHERE THE ARC INTERSECTS THE HIGHWAY EDGE OF PAVEMENT.
- REPEAT STEPS 1 - 6 FOR THE OTHER SIDE OF THE DRIVEWAY OPENING.

FIELD LAYOUT NOTES:

FOR THE RADIUS METHOD OF LAYOUT, IF OBSTRUCTIONS UNDER THE ABILITY TO SCRIBE THE CORNER ANGLE ARC FROM THE CENTER POINT, LOCATE POINTS ALONG THE ARC BY USING "R" VALUES FROM TABLE 9 THROUGH 11 OR TABLE 14.40. VARIOUS DRIVEWAY OFFSETS (FO) IS MEASURED FROM THE PROJECTED EDGE OF DRIVEWAY TO THE ARC.

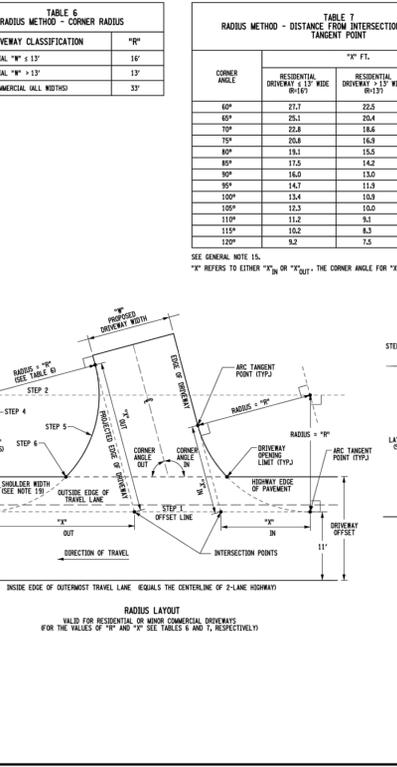
TAPER METHOD OF LAYOUT:

TAPER METHOD OF LAYOUT IS NOT RECOMMENDED FOR DRIVEWAYS WITH CORNER ANGLES LESS THAN 90° OR GREATER THAN 120°. HOWEVER, IT IS RECOMMENDED FOR DRIVEWAYS WITH A DRIVEWAY OFFSET (CENTER TRAVEL LANE + PAVED SHOULDER LESS THAN 16', UNLESS IT CAN BE FULLY VERIFIED THAT THE DRIVEWAY ENTRANCE WIDTH WILL ACCOMMODATE THE VEHICLES THAT USE THE DRIVEWAY ON A REGULAR BASIS).

- SCRIBE A LINE PARALLEL LINE OFFSET THE APPROPRIATE LAYOUT DISTANCE (SEE TABLE 8) FROM THE INSIDE EDGE OF THE OUTERMOST TRAVEL LANE.
- LOCATE THE TAPER LAYOUT POINT, WHICH IS AT THE INTERSECTION OF THE EDGE OF DRIVEWAY AND THE LAYOUT LINE.
- SCRIBE A 1/1' (SEE TABLE 8) TAPER FROM THE LAYOUT POINT TO THE EDGE OF PAVEMENT (NOT BEING PERPENDICULAR TO THE EDGE OF TRAVEL LANE).
- FIND THE DRIVEWAY OPENING LIMIT POINT WHICH IS WHERE THE TAPER INTERSECTS THE EDGE OF PAVEMENT.
- REPEAT STEPS 1 - 4 FOR THE OTHER SIDE OF THE DRIVEWAY OPENING.

ALTERNATE TAPER METHOD OF LAYOUT:

FOLLOW THE STEPS AS FOR THE ABOVE TAPER LAYOUT METHOD, EXCEPT FOR STEPS 3 AND 4. LOCATE THE DRIVEWAY OPENING LIMIT BY USING THE APPROPRIATE "L" VALUE FROM EITHER TABLE 12 OR 14 ON SHEET 4. "L" IS THE DISTANCE BETWEEN THE DRIVEWAY OPENING LIMIT AND THE INTERSECTION POINT OF THE PROJECTED EDGE OF DRIVEWAY AND THE EDGE OF PAVEMENT.

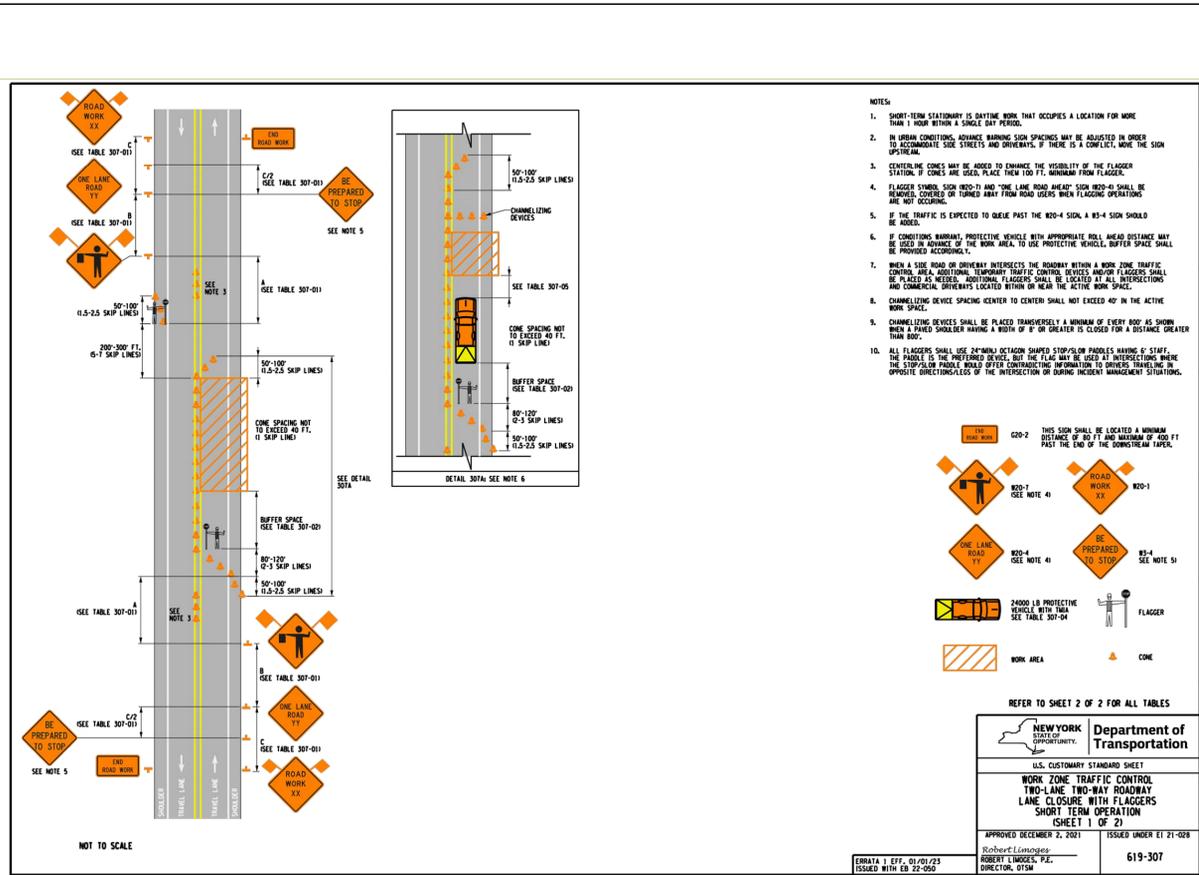


NEW YORK STATE OF TRANSPORTATION Department of Transportation

U.S. CUSTOMARY STANDARD SHEET

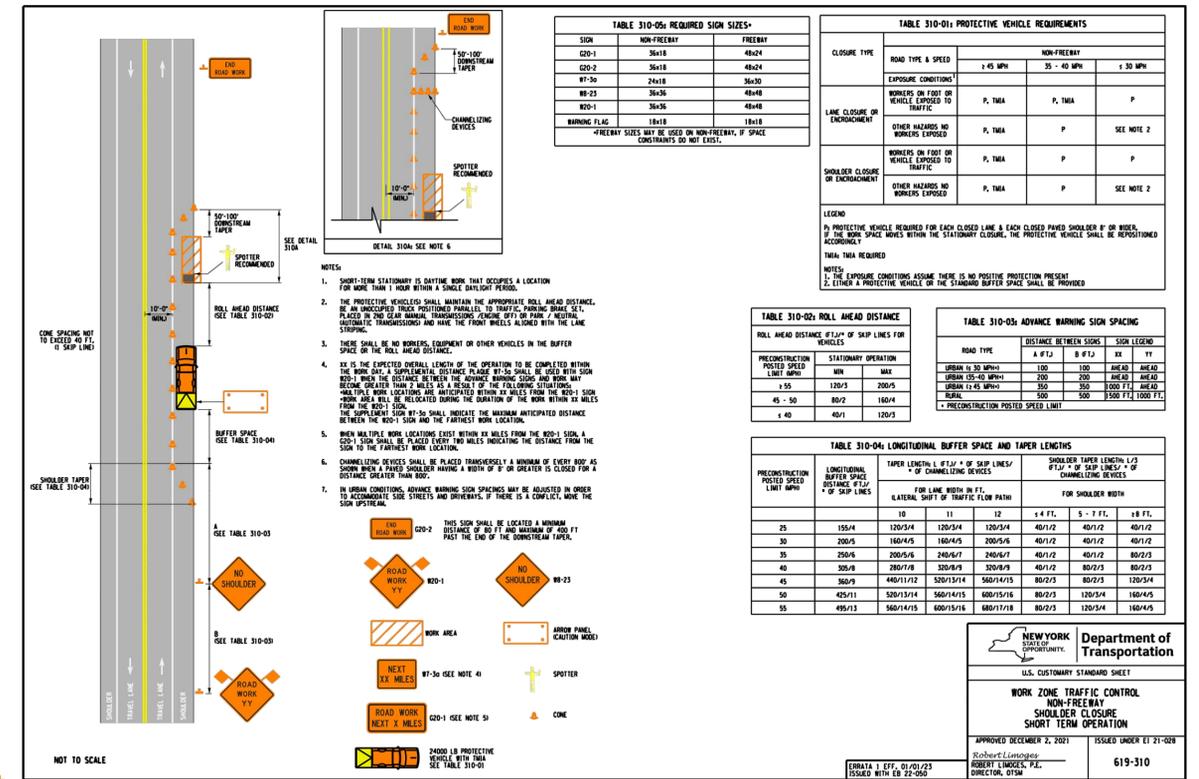
RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS (SHEET 3 OF 9)

APPROVED MARCH 07, 2016 ISSUED UNDER EB 16-012
/s/ RICHARD W. LEE, P.E. DEPUTY CHIEF ENGINEER 608-03



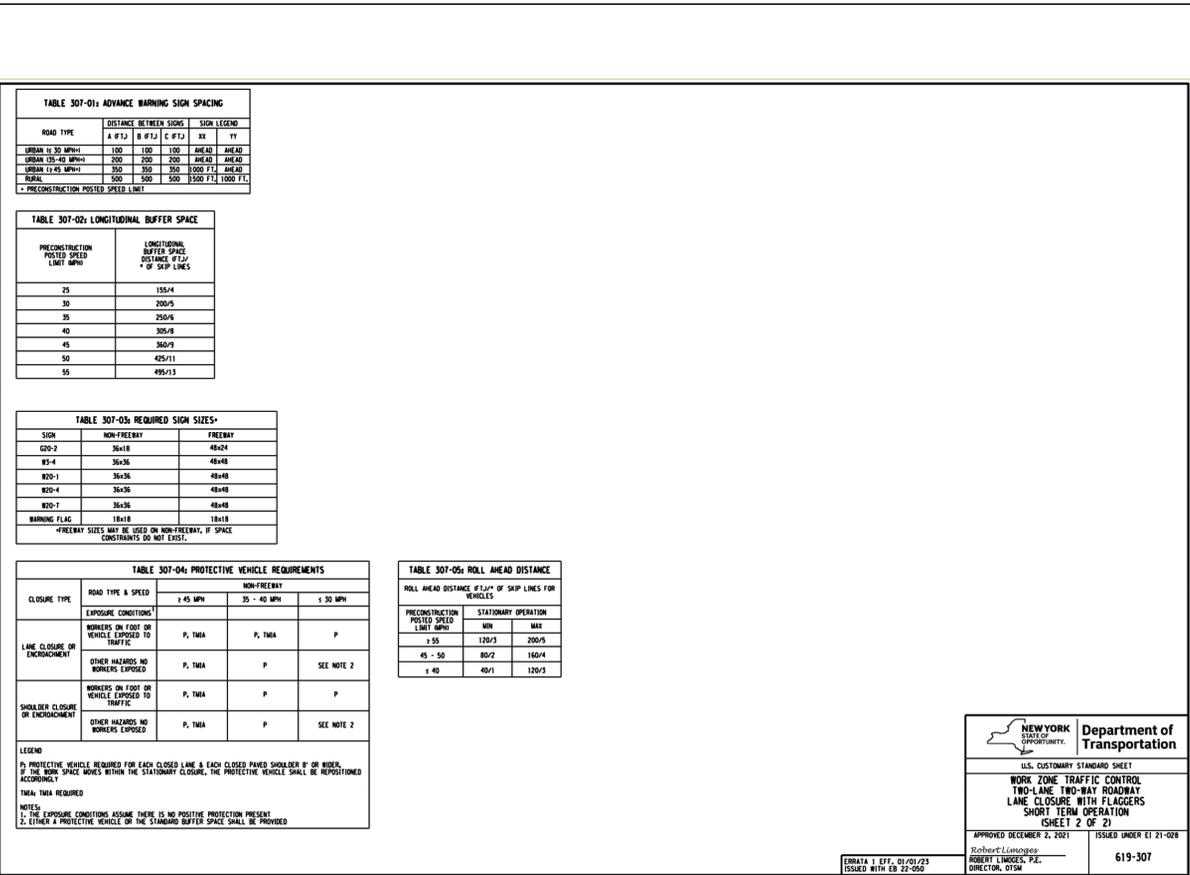
WORK ZONE TRAFFIC CONTROL - TWO-LANE TWO-WAY LANE CLOSURE

SCALE: NOT TO SCALE



WORK ZONE TRAFFIC CONTROL - NON FREEWAY SHOULDER CLOSURE

SCALE: NOT TO SCALE



Lead Consultant:



Project Sponsor:



Department of Transportation
U.S. CUSTOMARY STANDARD SHEET
WORK ZONE TRAFFIC CONTROL
TWO-LANE TWO-WAY ROADWAY
LANE CLOSURE WITH FLAGGERS
SHORT TERM OPERATION
(SHEET 2 OF 2)
APPROVED DECEMBER 2, 2021 ISSUED UNDER ET 21-028
Robert Longo, P.E.
ROBERT LONGO & ASSOCIATES, P.C.
DIRECTOR, OTSM
619-307

Professional Stamp



JERE E. TATICH, R.L.A.

ELAN PLANNING DESIGN & LANDSCAPE ARCHITECTURE

Verify all dimensions before the commencement of work. Report to the consultant any discrepancy found.

IT IS A VIOLATION OF THE LAW FOR ANY PERSONS, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DRAWING IN ANYWAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Project Title:

TOWN OF PLATTSBURGH
BATTLEFIELD MEMORIAL
GATEWAY PARK

SITE
DEVELOPMENT
PHASE I

Sheet Title:

NYS DOT
WORK ZONE
TRAFFIC
CONTROL

Drawing Log:

Rev.	DATE
Rev. 05	
Rev. 04	
Rev. 03	
Rev. 02	
Rev. 01	

DATE FEBRUARY 7, 2023

DRAWN BY: - MEW
CHECKED BY: - JET
FILE: -
JOB NO.: - 20-015.8

DRAWING NO.:

C206

Revision No.